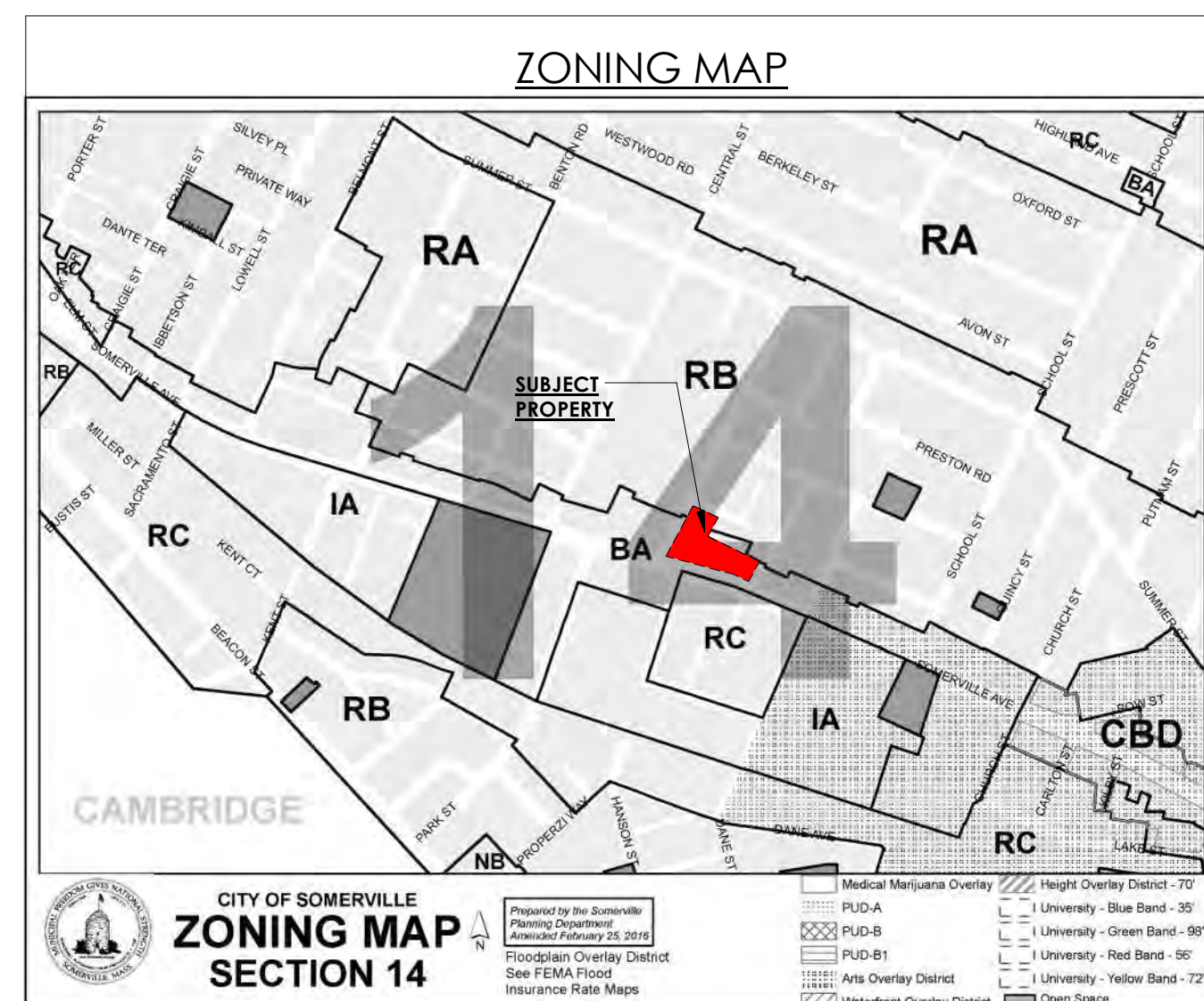




PROPOSED MID-POINT RESIDENCES @ 515 SOMERVILLE AVENUE

03-09-2018



DRAWING LIST		
Sheet Number	Sheet Name	Sheet Issue Date
0-COVER		
A-000	Cover Sheet	03/09/18
1-CIVIL		
C1.0	SITE LAYOUT & UTILITY PLAN	01/31/18
C1.1	GRADING PLAN	01/31/18
C2.0	DETAILS I	01/31/18
C2.1	DETAILS II	01/31/18
2-LANDSCAPE		
L1	MATERIAL PLAN	02/01/18
L2	LAYOUT PLAN	02/01/18
L3	PLANTING PLAN	02/01/18
LD1	DETAILS	02/01/18
LD2	DETAILS	02/07/18
3-ARCHITECTURAL		
A-001	ARCHITECTURAL SITE PLAN	03/09/18
A-100	BASEMENT FLOOR PLAN	03/09/18
A-101	FIRST FLOOR PLAN	03/09/18
A-102	SECOND FLOOR PLAN	03/09/18
A-103	THIRD FLOOR PLAN	03/09/18
A-104	FOURTH FLOOR PLAN	03/09/18
A-300	EXTERIOR ELEVATIONS	03/09/18
A-301	EXTERIOR ELEVATIONS	03/09/18
AV-1	PERSPECTIVES	03/09/18
AV-2	PERSPECTIVE RENDERING	03/09/18
AV-3	PERSPECTIVE RENDERING	03/09/18
SHD	SHADOW STUDY	03/09/18
4-LIGHTING		
RAB-1	PHOTOMETRICS	12/05/17
RAB-2	NOTES & SCHEDULES	12/05/17
RAB-3	LIGHTING CUTSHEETS	12/05/17

CLIENT:
D.E.V.B LLC
689 SOMERVILLE AVE
SOMERVILLE MA 02143

ARCHITECT:
KHALSA DESIGN INC.
17 IVALOO ST. SUITE 400
SOMERVILLE MA 02143
T: (617)-591-8682

LANDSCAPE ARCHITECTS:
VERDANT
318 Harvard Street suite 25
Brookline, MA 02446
T: 617-735-1180

CIVIL:
DCI CONSULTANTS
120 MIDDLESEX AVENUE, SUITE 20
SOMERVILLE, MA 02145
T: 617-776-3350

LIGHTING:
RAB LIGHTING

STRUCTURAL:

MECH./ELEC./PLUMB.:

FIRE PROTECTION:

PROJECT NAME
**MID-POINT
RESIDENCES @ 515
SOMERVILLE AVENUE**

PROJECT ADDRESS
515 Somerville Avenue,
Somerville, MA

CLIENT
D.E.V.B LLC

ARCHITECT
KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

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REGISTRATION

Project number 16065
Date 03/09/18
Drawn by AB
Checked by JSK
Scale 12" = 1'-0"

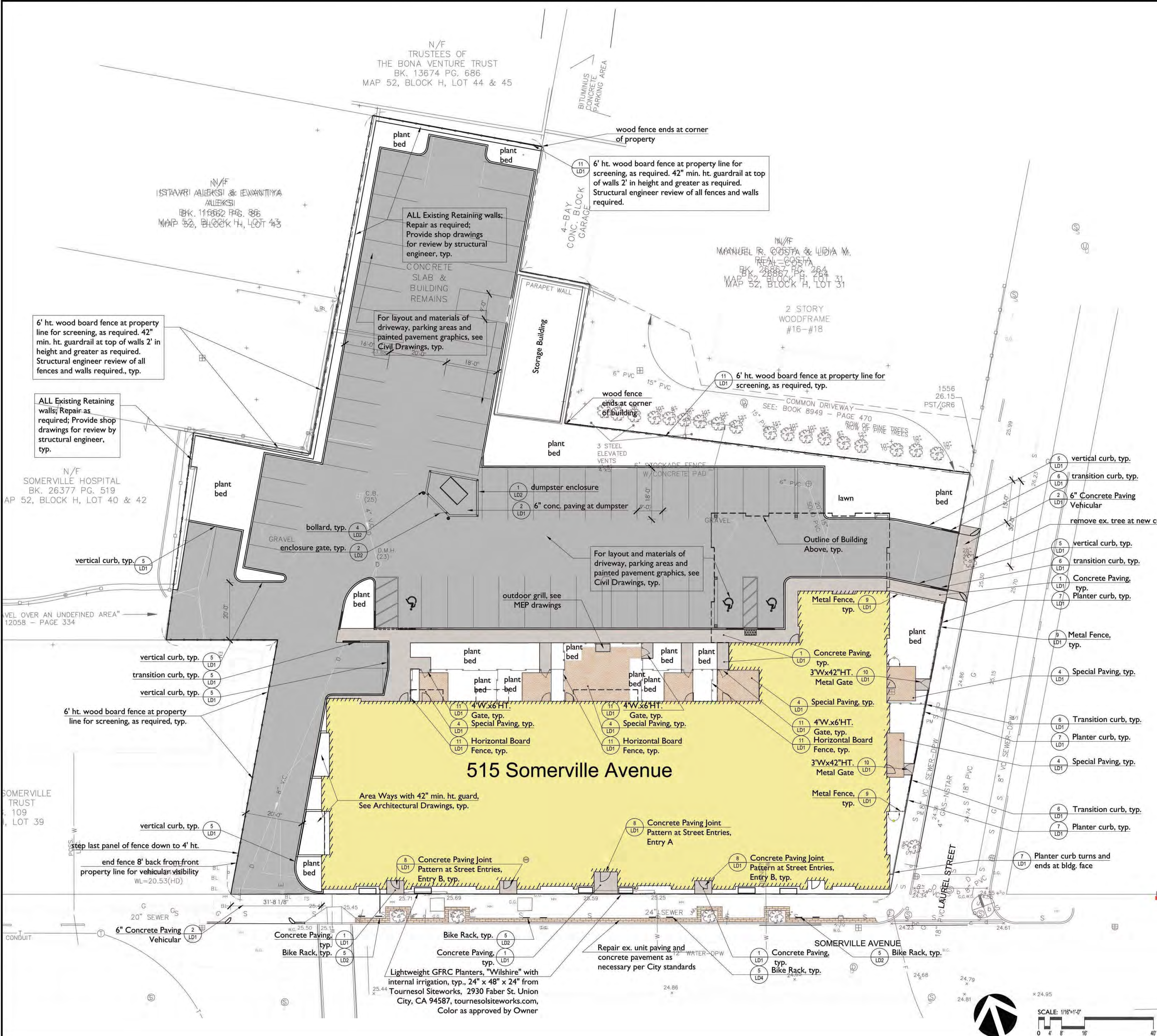
REVISIONS

No.	Description	Date
1	Site Plan Update & Unit Reduction	2/20/2017

Cover Sheet

A-000

MID-POINT RESIDENCES @ 515
SOMERVILLE AVENUE



LEGEND:

	LOW	Approximate Limit of Work
	Concrete Paving	
	6" Concrete Paving	
	Unit Pavers	
	Granite Curb	
	Granite Transition Curb	
	Horizontal Board Fence	
	Metal Fence	
	Greenscreen	(1 LDZ)
	Bike Racks on 6" Concrete Paving	

LAYOUT AND MATERIALS NOTES

- Contractor shall lay out paths, walls and site improvements for review by the Architect prior to proceeding with the work. Make adjustments to layout as directed. Provide proposed grades at all corners and site features as directed.
- All pedestrian walkways and patios on one level plane: flush condition between all changes in paver/paving styles.
- Existing conditions information is from a survey performed by Design Consultants, Inc. and taken from an existing conditions plan received Jan. 2017. Contractor shall verify all conditions in the field and report any discrepancies to the architect prior to starting work.
- Contractor shall notify digsafe 1-888-dig-safe and verify underground utilities prior to excavation.
- Contractor is responsible for repairing any damage caused to roads, walks, utilities, site improvements, existing or proposed, damaged by this project.
- Provide expansion joints in concrete walks at 20' o.c. and control joints at 5' o.c. as per specifications, unless otherwise noted on drawings.
- All concrete pads at exterior doors shall be pinned to building foundation and provide expansion joint, refer to structural drawings.
- Contractor shall coordinate location of all utilities (lines, ducts, conduits, sleeves, footings, etc.) with locations of proposed landscape elements (walls, tree rootballs, proposed lighting footings, etc.). contractor shall report any discrepancies to the architect prior to continuing work.
- All lines are parallel or perpendicular to lines from which they are measured, unless otherwise noted. dimensions are to face of wall, to face of curb; to edge of pavement; to edge of improvement or as otherwise noted.

GREENSCREEN SPECIFICATIONS:

- Manufacturer to provide complete shop drawings detailing components and specific mounting requirements for approval to Landscape Architect and Architect
- Greenscreen attached to existing masonry wall.
- Contractor shall verify all field measurements before fabrication; show recorded measurements on shop drawings.
- Finish shall be Matte Texture Black, or as approved by Landscape Architect.
- Greenscreen panels, trim, and mounting hardware shall be supplied by greenscreen, 1743 La Cienega Blvd., Los Angeles, CA 90035; Tel: 1-800-450-3494; Fax: 310-837-0523, www.greenscreen.com.

PROJECT NAME
**MID-POINT
 RESIDENCES @ 515
 SOMERVILLE AVE.**
 PROJECT ADDRESS
**515 SOMERVILLE AVE
 SOMERVILLE MA**
 CLIENT

ARCHITECT
KHALSA DESIGN INC.

 17 VALOO STREET, SUITE 400
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 TELEPHONE 617-591-8882 FAX: 617-591-2096

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 318 Harvard Street, Suite 25
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 verdantlandscapearchitecture.com

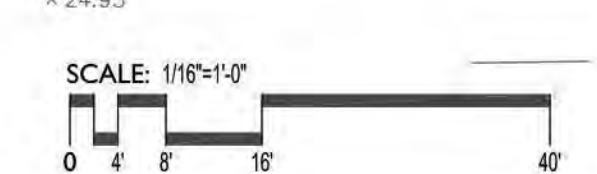


Project number	1653
Date	February 1, 2018
Drawn by	KN
Checked by	KP
Scale	1/16"=1'-0"

REVISIONS

No.	Description	Date
1	Site Plan Update and Unit Reduction	02/22/2018

L1
 MATERIALS
 PLAN





KEY	QTY	LATIN NAME	COMMON NAME	SIZE	NOTES
DECIDUOUS TREES					
AL	2	Amelanchier laevis	Allegheny Serviceberry	2-2.5" cal.	B&B
CF	1	Cornus florida	Flowering Dogwood	2.5"-3" cal.	B&B, single stem
HD	2	Halesia diptera	Two-winged Silverbell	8-10' cal.	B&B
NS	3	Nyssa sylvatica	Black Gum	2-2.5" cal.	B&B
QB	1	Quercus bicolor	Swamp White Oak	2.5-3" cal.	B&B
UA	2	Ulmus americana 'Valley Forge'	Valley Forge American Elm	2.5-3" cal.	B&B
EVERGREEN TREES					
JV	2	Juniperus virginiana 'Emerald Sentinel'	Emerald Sentinel Juniper	6-7' ht.	B&B
PP	7	Pinus parviflora	Japanese White Pine	6-7' ht.	B&B
PS	3	Pinus strobus	White Pine	6-7' ht.	B&B
DECIDUOUS SHRUBS					
HM	27	Hydrangea macrophylla Let's Dance Blue Jangles'	Blue Jangles Hydrangea	3 gal. 24-30"	Pots
MP	19	Myrica pensylvanica	Bayberry	3 gal. 24-30"	Pots
PF	17	Potentilla fruticosa 'Abbotswood'	White Potentilla	3 gal. 24-30"	Pots
RA	12	Rhus aromatica 'Gro-Low'	Fragrant Sumac	3 gal.	Pots
RT	7	Rhus typhina	Staghorn Sumac	5 gal. 3-4'	Pots
RM	12	Rosa 'Meisweddom'	Sweet Drift Rose	3 gal.	Pots
SB	2	Spiraea bumalda 'Anthony Waterer'	Anthony Waterer Spiraea	3 gal. 24-30"	Pots
EVERGREEN SHRUBS					
IG	14	Ilex glabra	Inkberry	3 gal. 24" ht.	Pots
VINES					
HA	12	Hydrangea anomala petiolaris	Climbing Hydrangea	3 gal.	
PERENNIALS/GRASSES					
nf	4	Nepeta faassenii 'Walker's Low'	Catmint	2 gal.	
pv	138	Panicum virgatum 'shenandoah'	Red Switch Grass	2 gal.	
pd	34	Perovskia atriplicifolia 'Denim 'n Lace'	Denim 'n Lace Russian Sage	2 gal.	
yf	4	Yucca filamentosa	Yucca	3 gal. 3 year plants	
GROUND COVER					
vm	105	Vinca Minor 'Ralph Shugert'	Periwinkle	1 qt.	

0 Plant Schedule

PLANTING NOTES

- All plant material shall be approved by the Landscape Architect prior to arrival on the site.
- All plant material shall conform to the American Standard for Nursery Stock established by "American Hort" americanhort.org
- No substitution of plant species will be allowed without the written approval of the Landscape Architect. Any proposed substitutions of plant species shall be a plant of equivalent overall form, height and branching habit, flower, leaf and fruit, color and time of bloom.
- The Contractor shall locate and verify all utility line locations prior to excavation for tree pits and report any conflicts to the Landscape Architect.
- All plants shall be placed in their approximate location by the Contractor. The Contractor shall adjust the locations as required by the Landscape Architect. Trees shall be placed first, then shrubs, then perennials and last, groundcovers. Final locations must be approved by the Landscape Architect prior to planting.
- The rootballs of trees shall be planted 3" above adjacent finished grade. The rootballs of shrubs shall be planted 2" above adjacent finished grade. The rootflare of perennials shall be set at the level at which the plant was growing.
- All planting to be done under the full time supervision of a certified arborist, nurseryman or licensed Landscape Architect.
- All plants are to be thoroughly watered after installation, at least twice within the first 24 hours.

REGISTRATION



Project number	1653
Date	February 1, 2018
Drawn by	TN
Checked by	KP
Scale	

REVISIONS

No.	Description	Date
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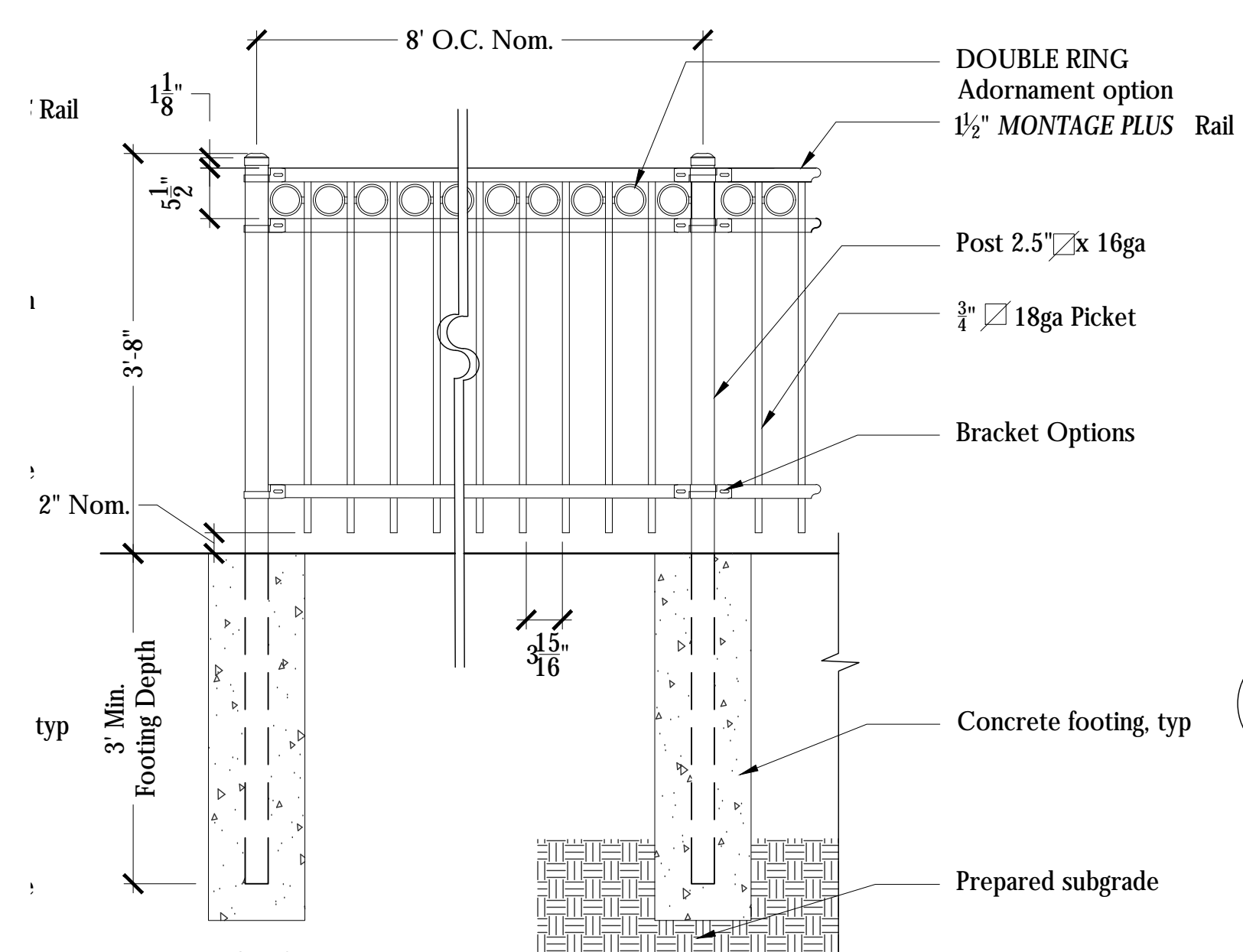
L3

PLANTING PLAN

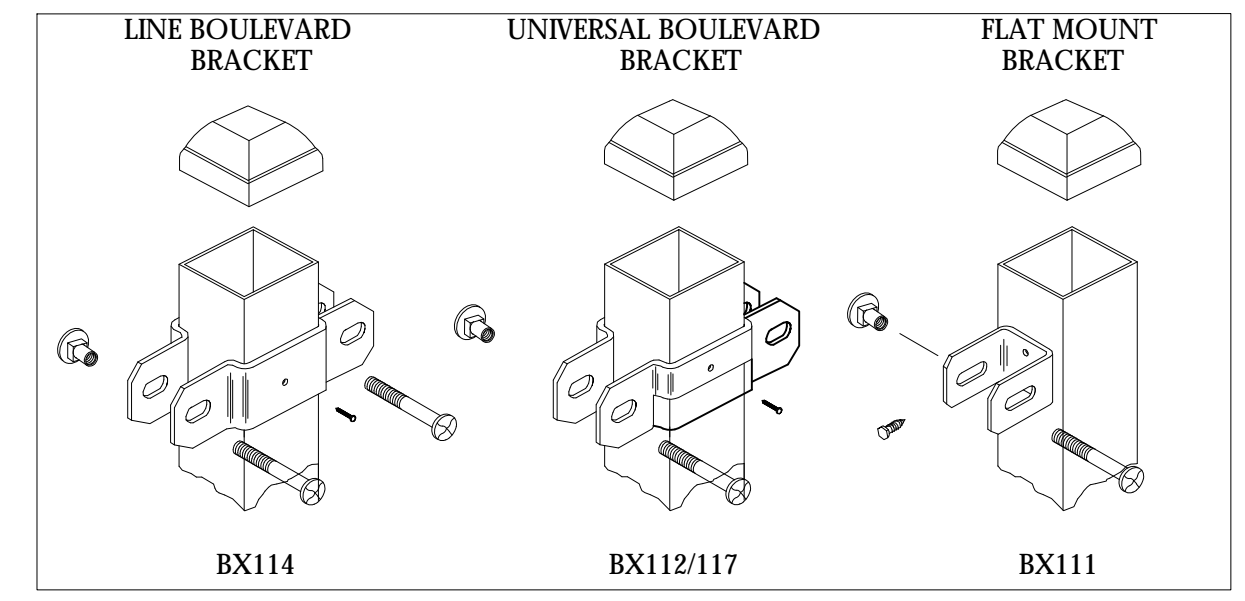


1 Planting Plan
 SCALE: 1" = 16'

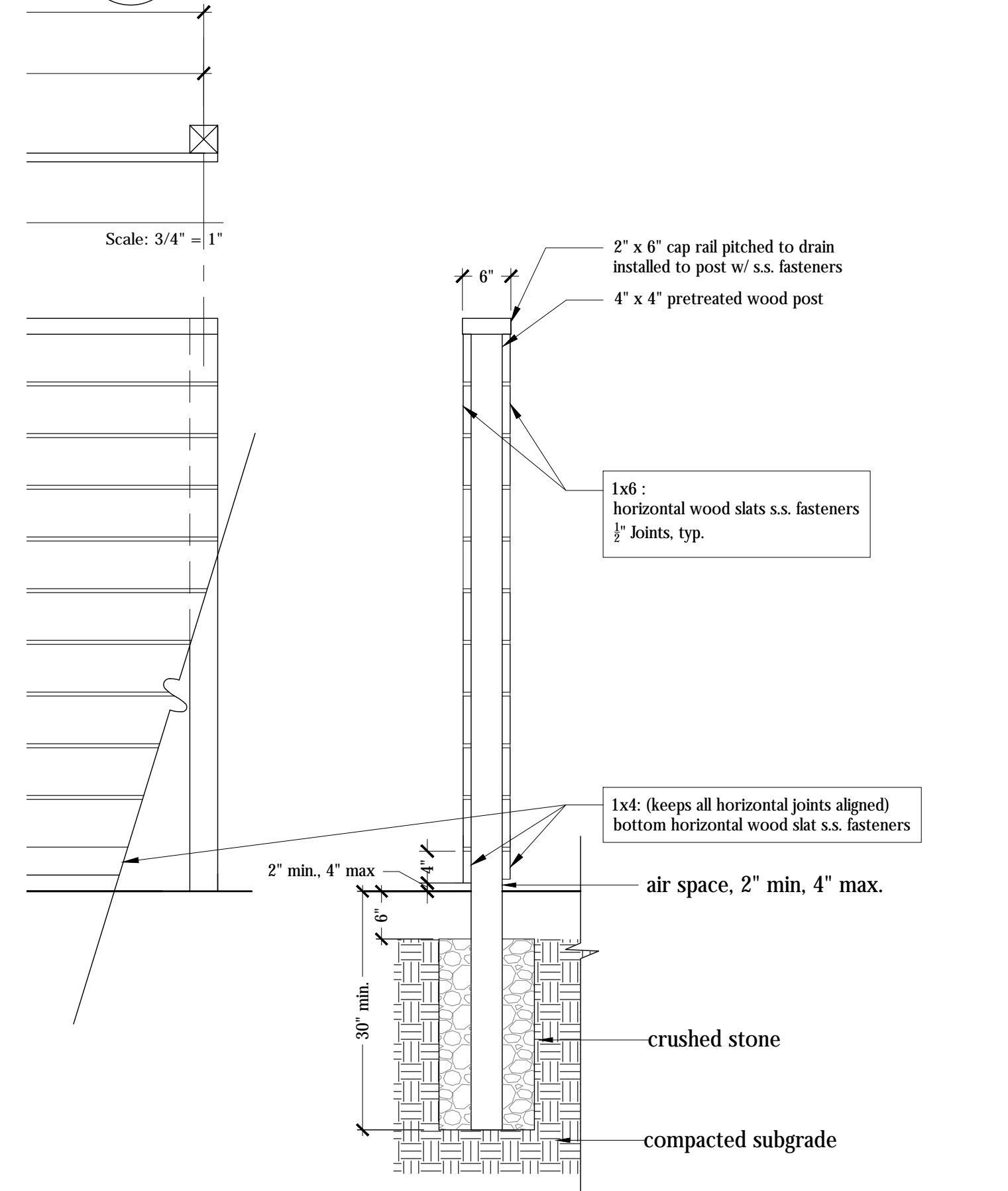




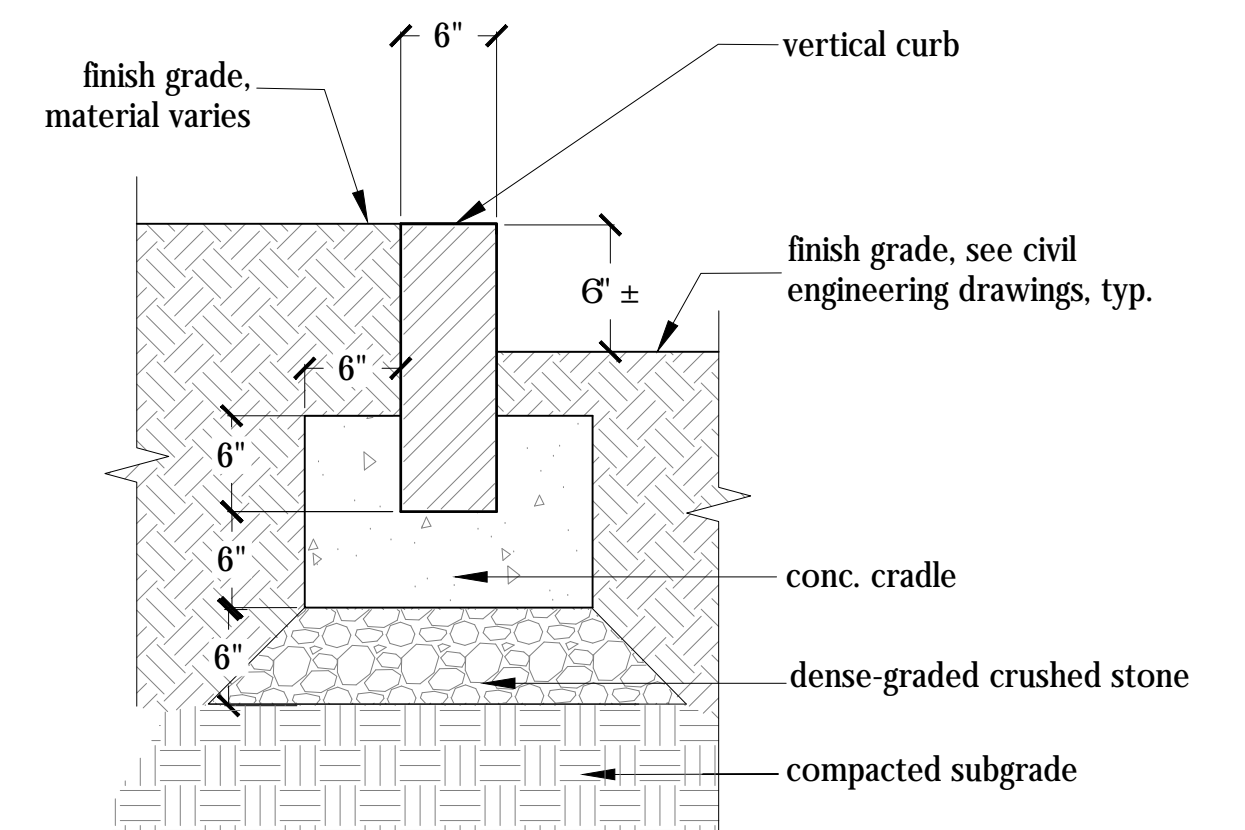
- NOTES:
1. Gate and fence shall be the "Montage Plus" as available from Ameristar Fence Products, 1555 N. Mingo Road, Tulsa, OK 74116, ameristarfence.com, 888-333-3422.
 2. See product specification for installation requirements.
 3. Post size depends on fence height and wind loads. See MONTAGE PLUS specifications for post sizing chart.
 4. Third rail required for Double Rings.
 5. Available in 3" air space and/or Flush Bottom on most heights.



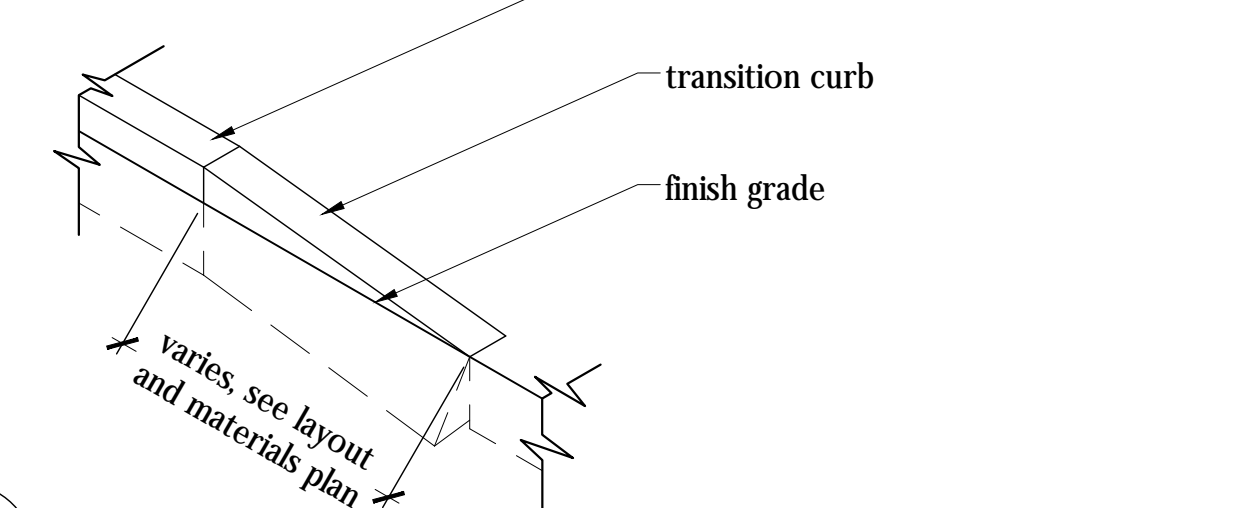
9 Metal Fence SCALE: NTS



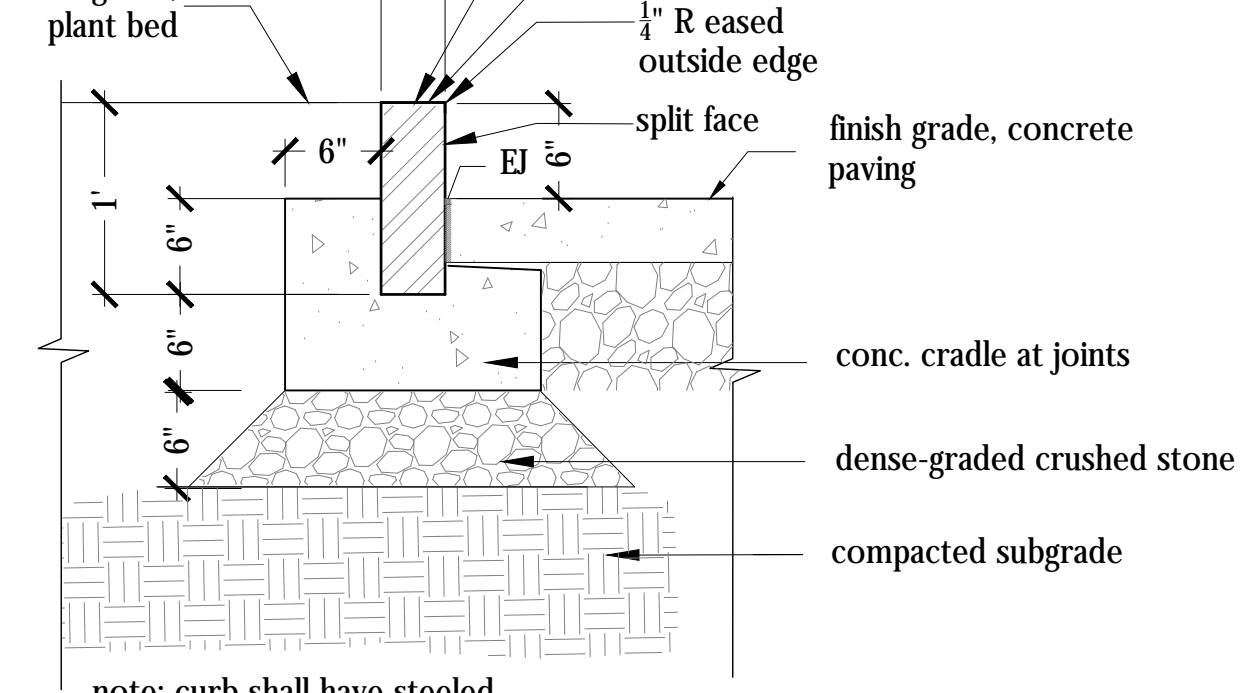
C SIDE VIEW



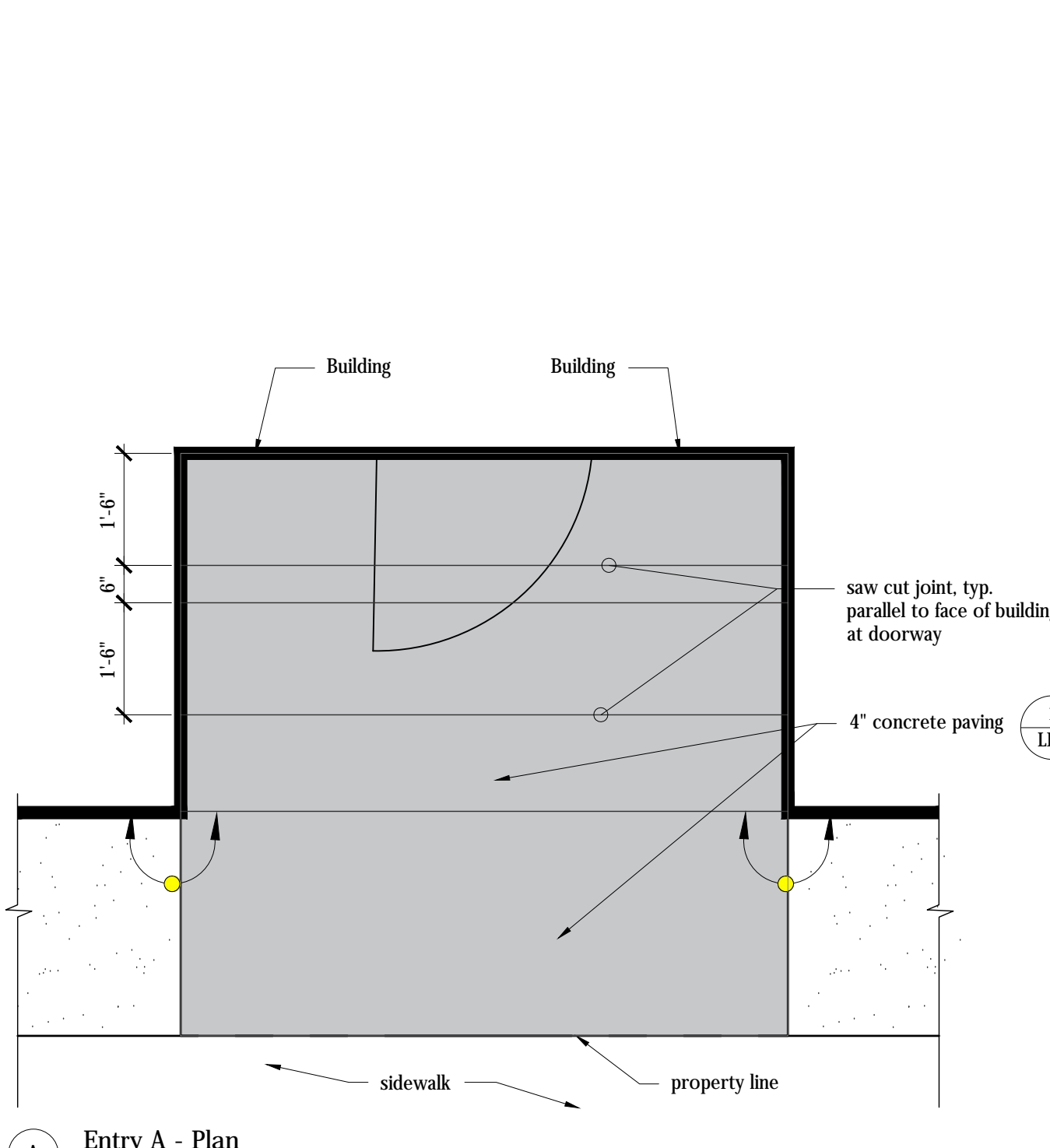
5 Vertical Curb SCALE: NTS



6 Transition Curb SCALE: NTS

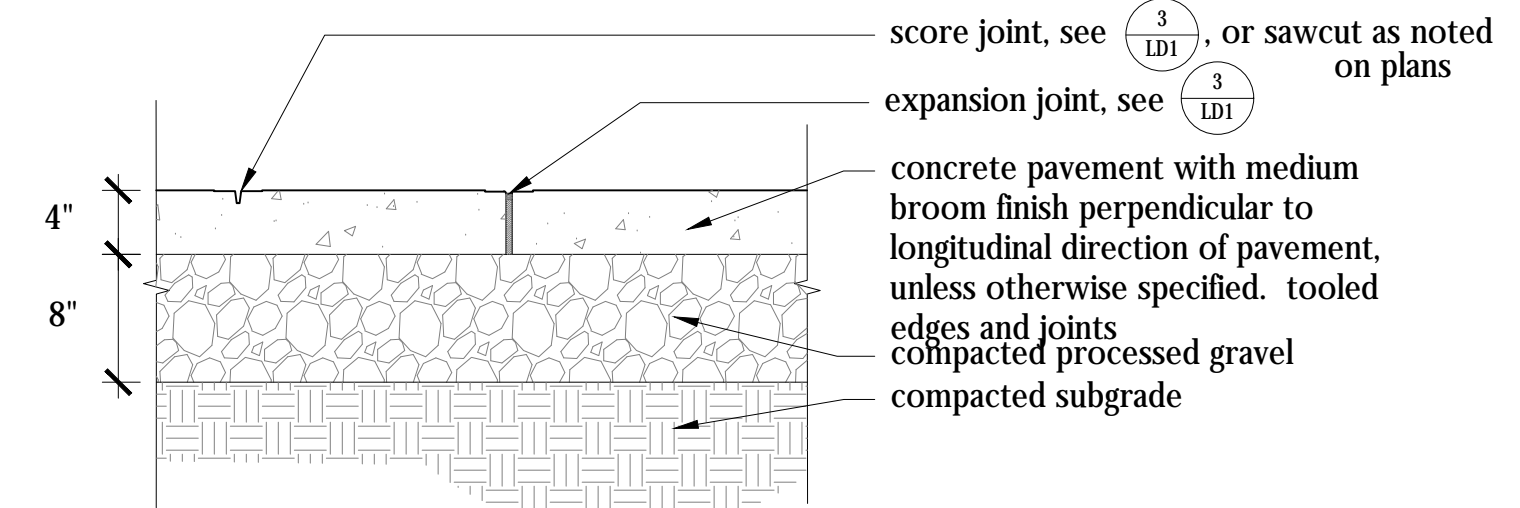


7 Planter Curb SCALE: 1" = 1'-0"



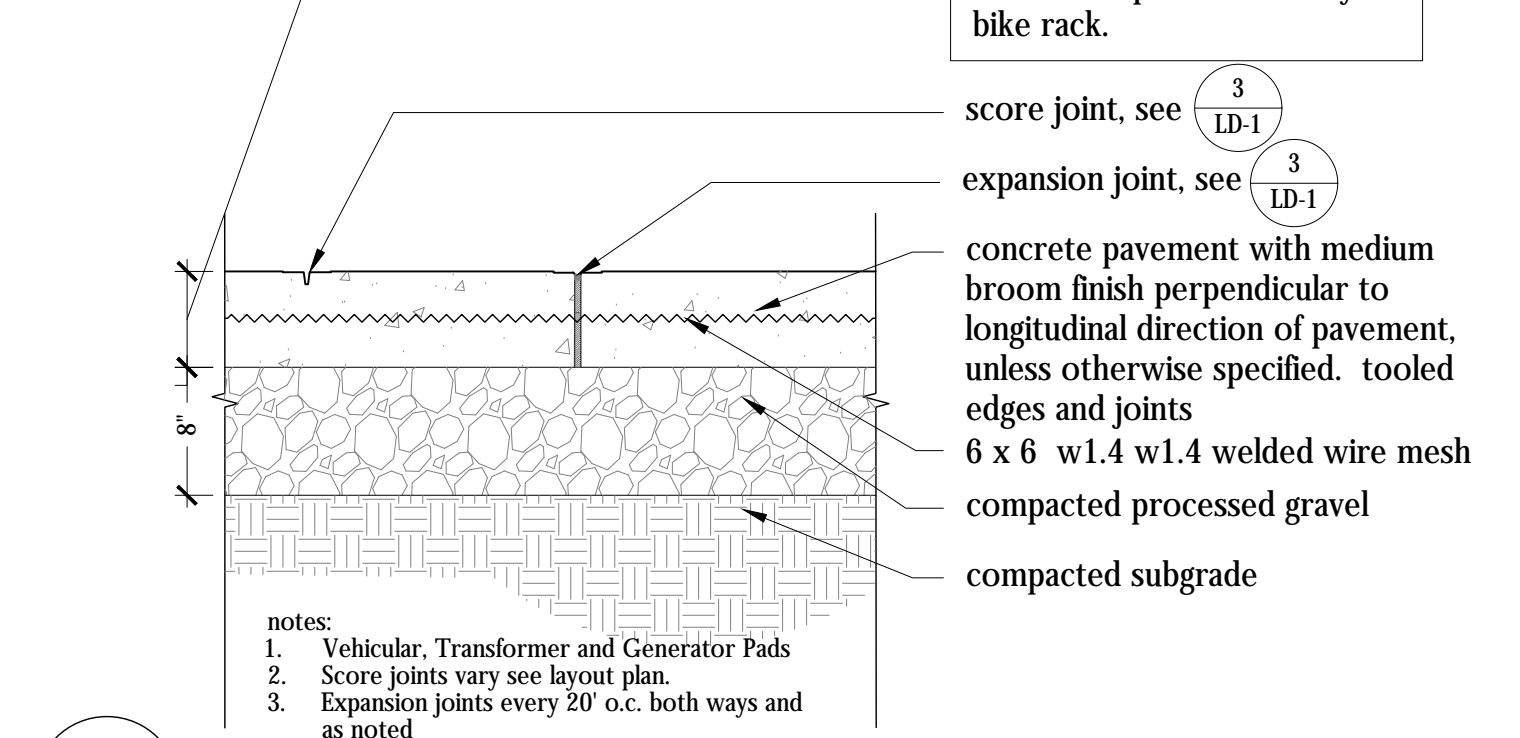
A Entry A - Plan SCALE: 1/2" = 1'-0"
B Entry B - Plan SCALE: 1/2" = 1'-0"

8 Concrete Paving Joint Pattern at Street Entries SCALE: 1/2" = 1'-0"

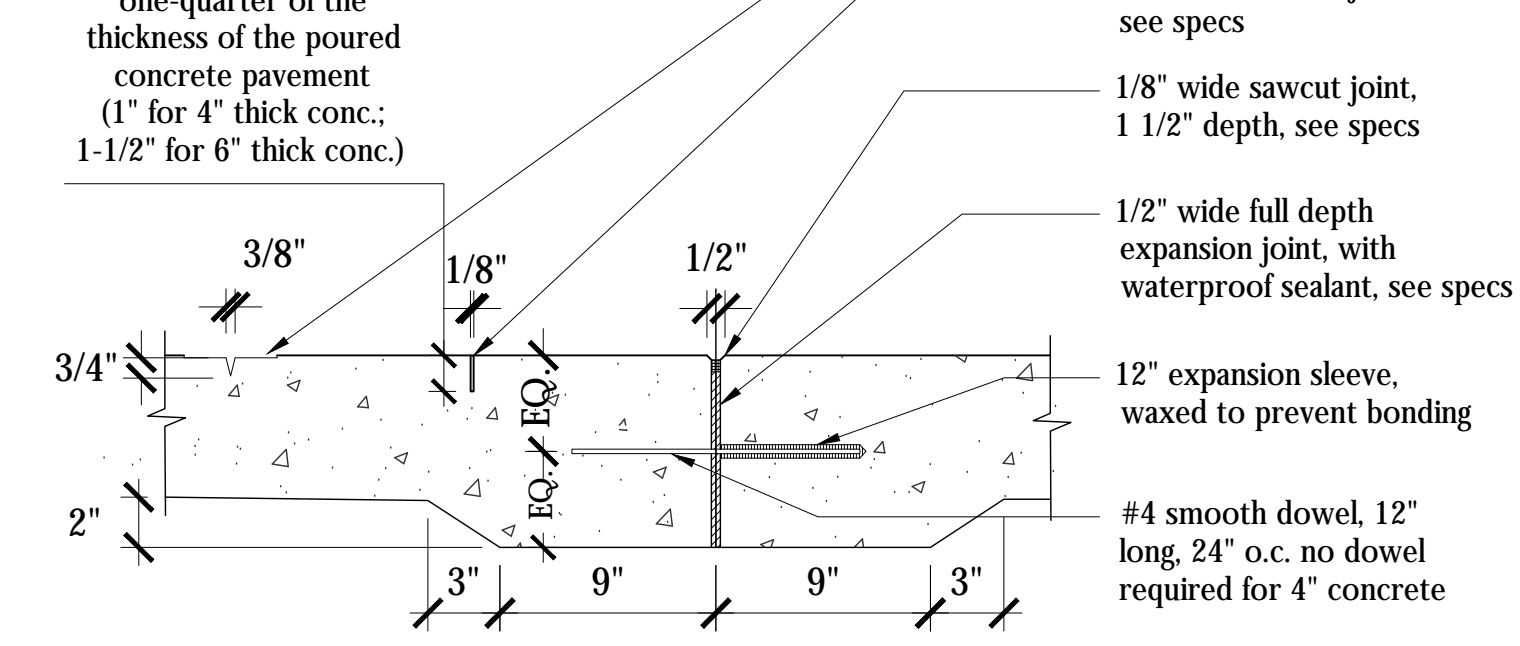


- Notes:
1. All score and tool joints shall be 5' o.c. typical.
 2. Expansion joints every 20' o.c. both ways and as noted.

1 Concrete Paving SCALE: NTS

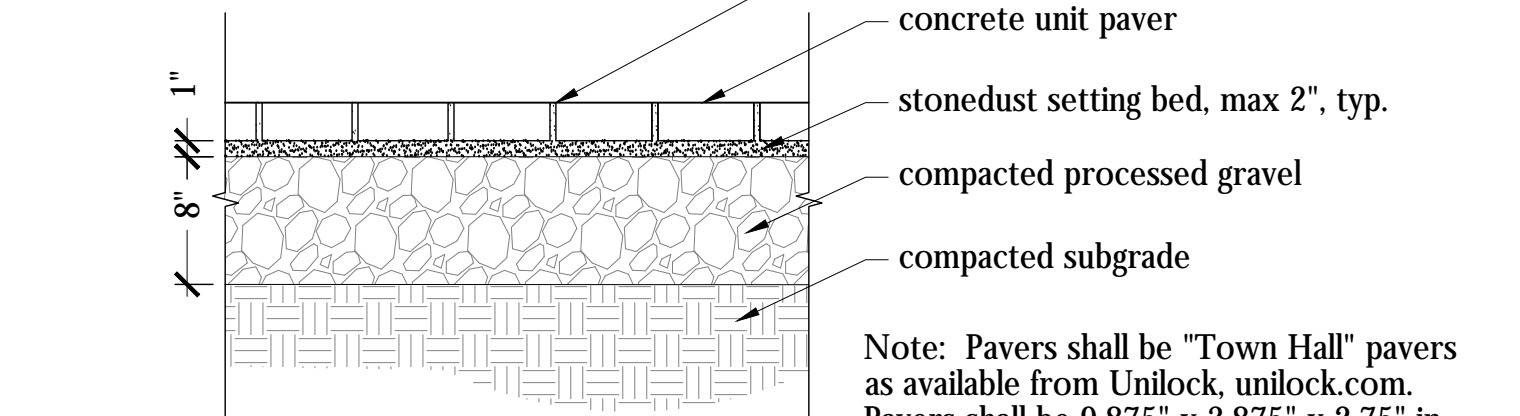


2 6" Concrete Paving Vehicular SCALE: NTS

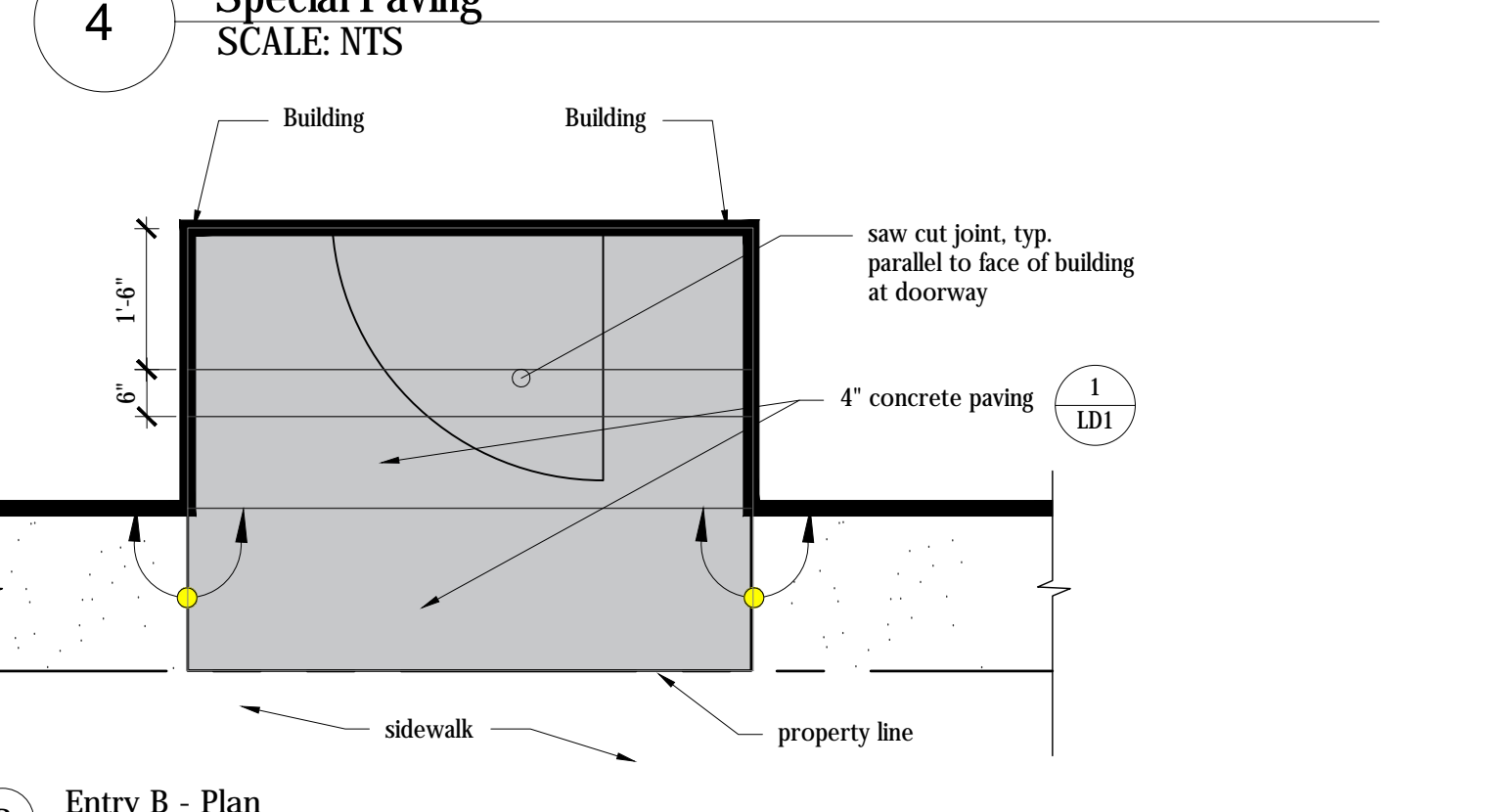


- Expansion joint installation notes:
1. dowel is typical at all expansion joints (24" o.c.) within concrete paving for 6" concrete
 2. delete expansion sleeve and dowel where joint abuts wall, curbs, or other vertical surfaces, unless otherwise indicated on plan.
 3. expansion joints max. 20'-0" o.c. unless shown otherwise.

3 Expansion, Saw Cut, and Score Joints SCALE: NTS



4 Special Paving SCALE: NTS



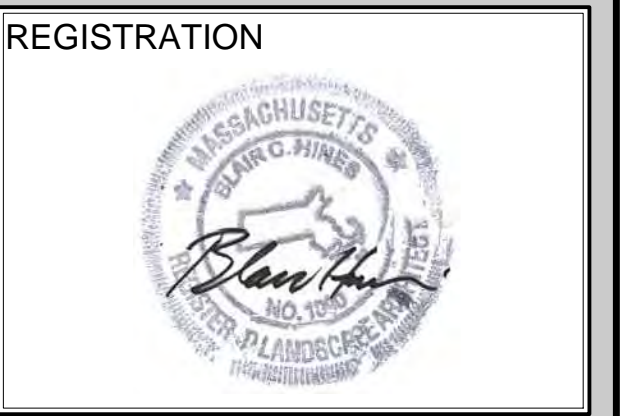
A Entry A - Plan SCALE: 1/2" = 1'-0"
B Entry B - Plan SCALE: 1/2" = 1'-0"

8 Concrete Paving Joint Pattern at Street Entries SCALE: 1/2" = 1'-0"

PROJECT NAME
MID-POINT RESIDENCES @ 515 SOMERVILLE AVE.
PROJECT ADDRESS
515 SOMERVILLE AVE SOMERVILLE MA
CLIENT

ARCHITECT
KHALSA DESIGN INC.
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TELEPHONE 617-591-8682 FAX: 617-591-2086

LANDSCAPE ARCHITECT
VERDANT LANDSCAPE ARCHITECTURE
318 Harvard Street, Suite 25 Brookline, MA 02446
617-735-1180 verdantlandscapearchitecture.com



Project number 1653
Date February 1, 2018
Drawn by TN
Checked by KP
Scale

REVISIONS

No.	Description	Date
1	Site Plan Update and Unit Reduction	02/22/2018

LD1
DETAILS

PROJECT NAME
**MID-POINT
 RESIDENCES @ 515
 SOMERVILLE AVE.**

PROJECT ADDRESS
**515 SOMERVILLE AVE
 SOMERVILLE MA**

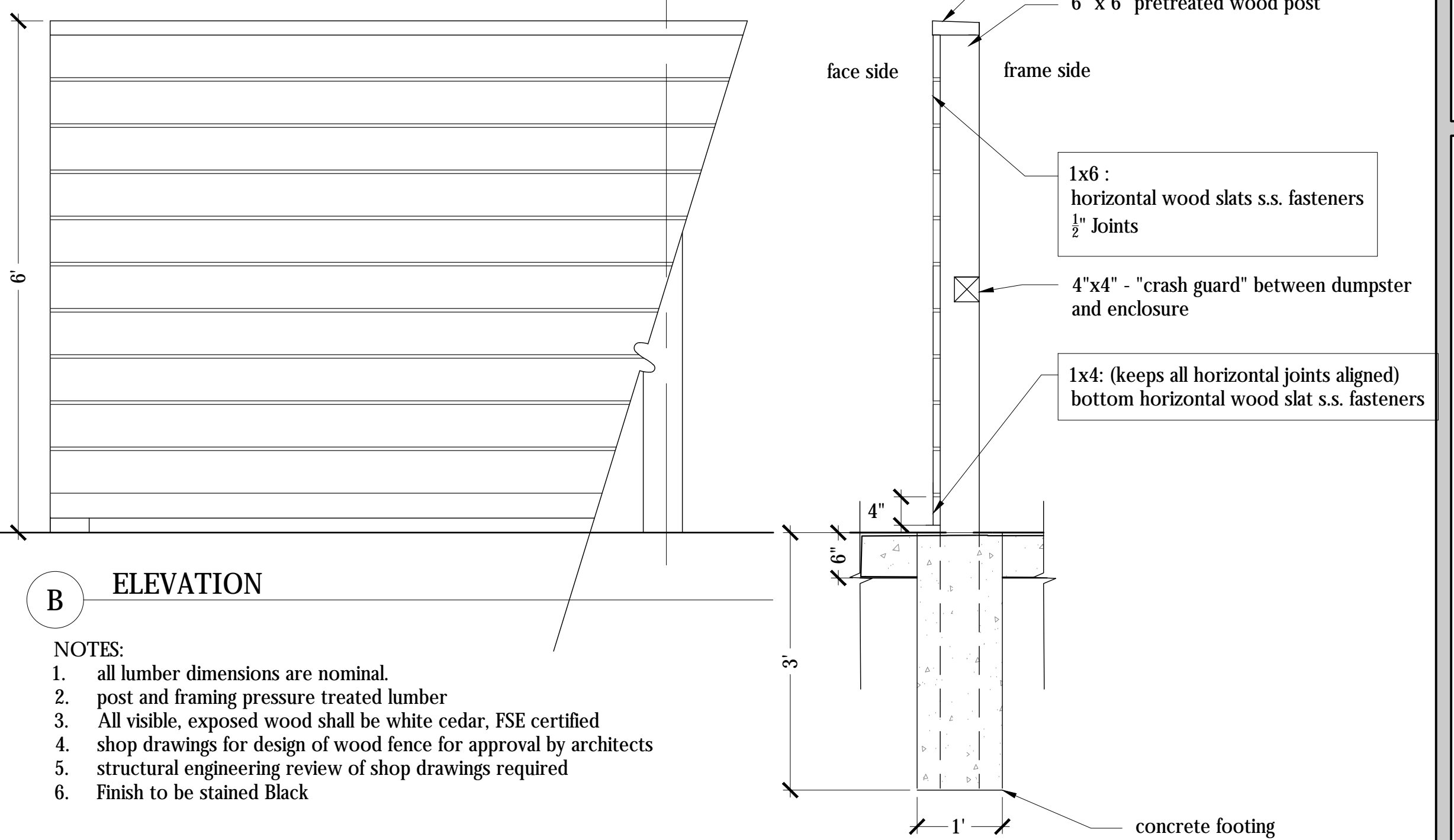
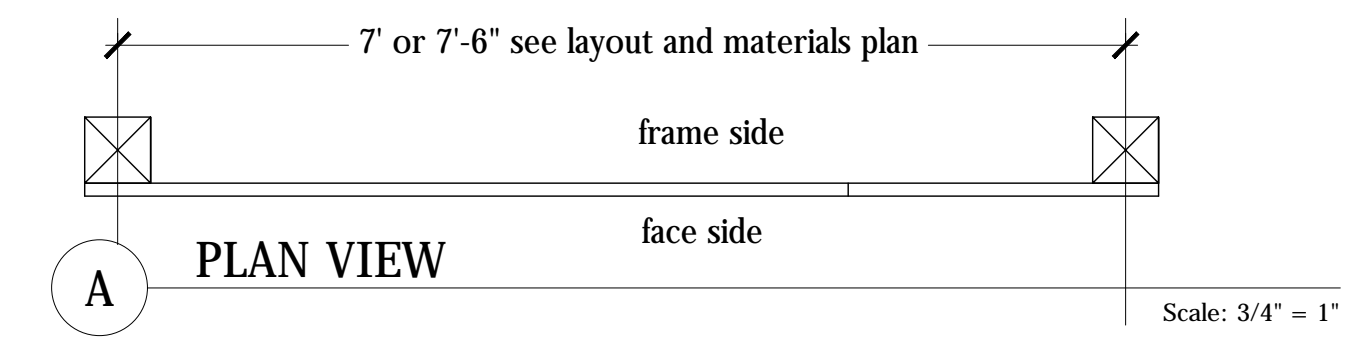
CLIENT

ARCHITECT
KHALSA DESIGN INC.



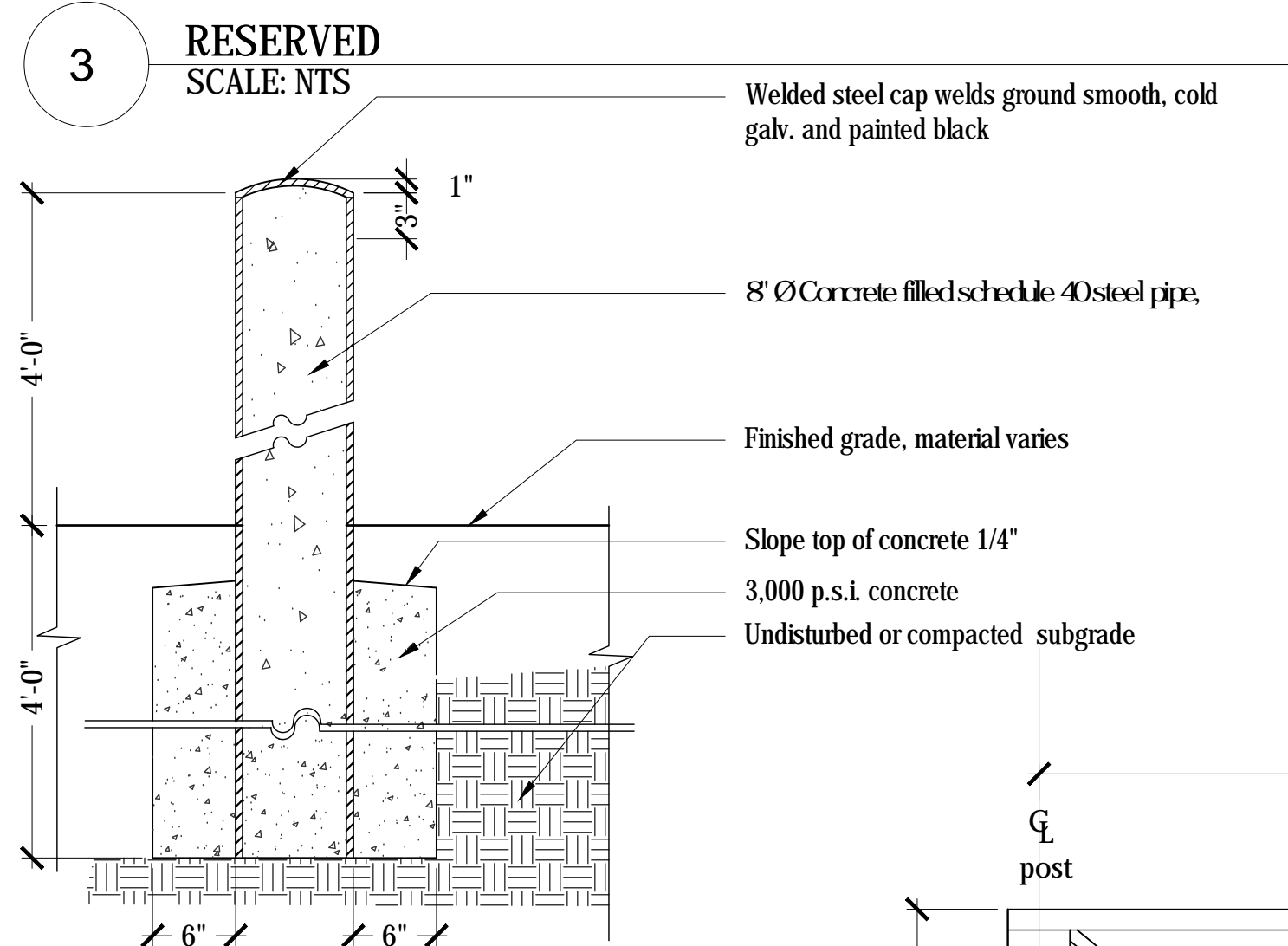
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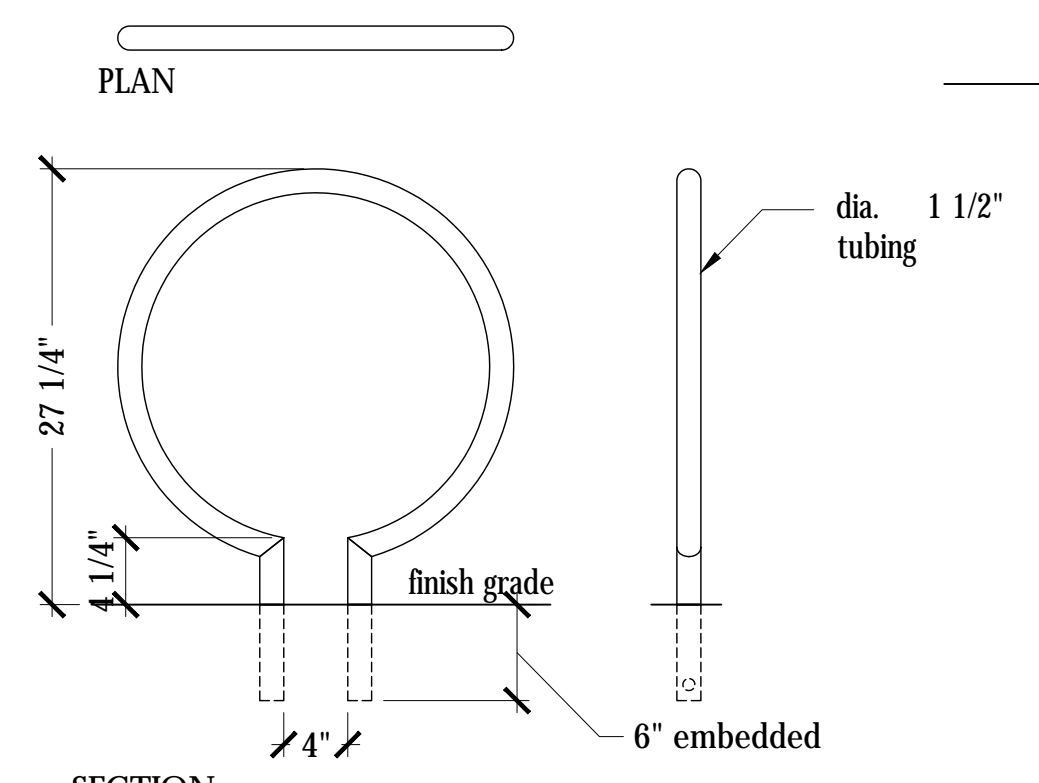
- NOTES:
1. all lumber dimensions are nominal.
 2. post and framing pressure treated lumber
 3. All visible, exposed wood shall be white cedar, FSE certified
 4. shop drawings for design of wood fence for approval by architects
 5. structural engineering review of shop drawings required
 6. Finish to be stained Black

1 Dumpster Enclosure Fence
 SCALE: 3/4" = 1' - 0"



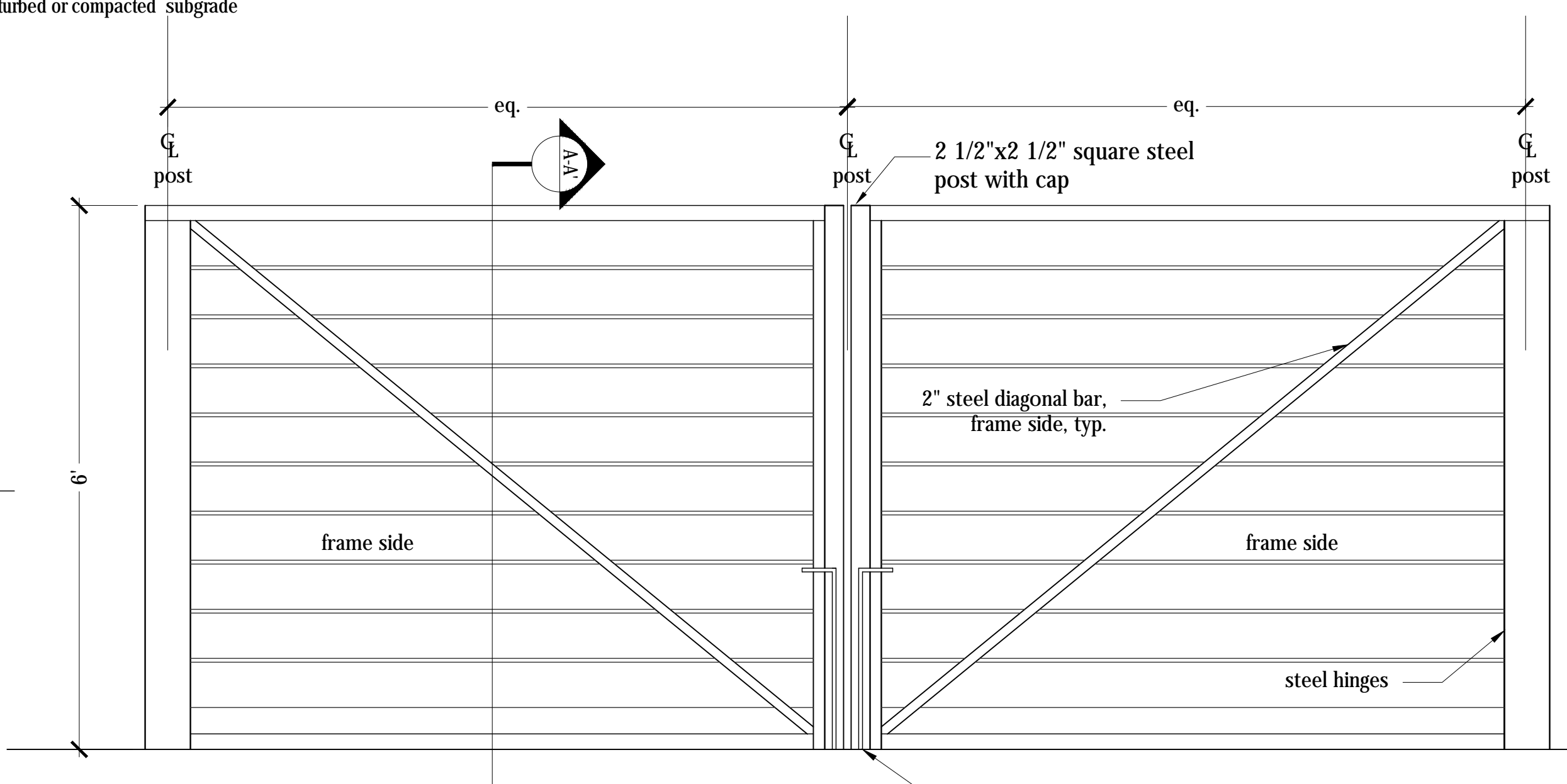
Note:
 Bollards and covers shall be from Reliance Foundry, Unit 207, 6450-148th Street, Surrey, British Columbia, Canada V3S-7G7, bollards.ca. Bollard shall be Model #R-1007-04, 4.5" OD Steel bollards, 84" ht. Covers shall be steel bollard covers, Model # R-7576, "Post Cover - New Post in New Concrete". Color shall be black or as approved by Owner.

4 Bollard
 SCALE: 1" = 1' - 0"



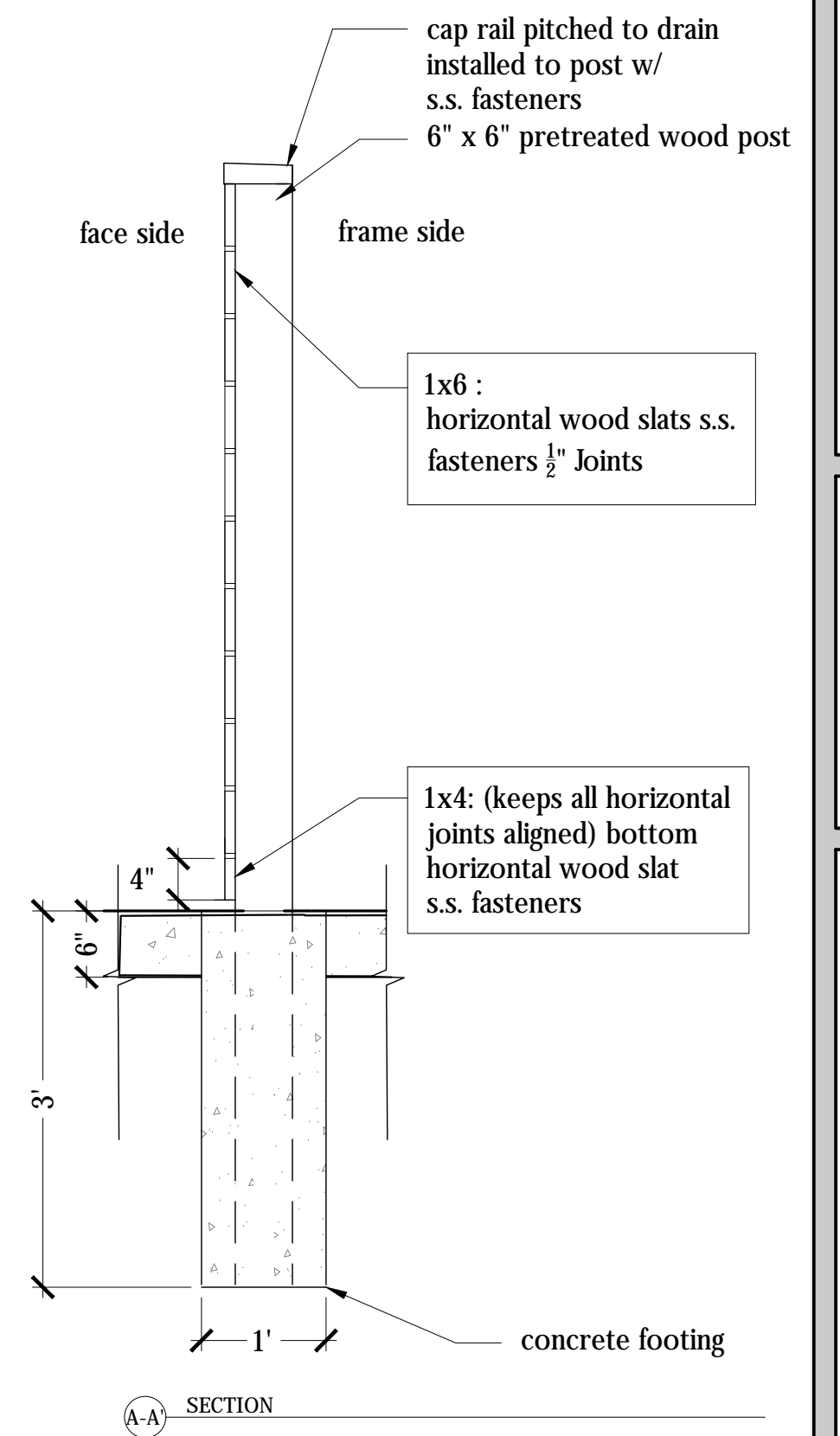
- Notes:
1. Bicycle racks shall be the "Ring" bike rack from Landscape Forms, 7800 E. Michigan Ave. Kalamazoo, MI 800-430-6209, landscapeforms.com.
 2. Finish shall be Matte Black, or as approved by Landscape Architect.

5 Bike Rack
 SCALE: NTS



- NOTES:
1. all lumber dimensions are nominal.
 2. post and framing pressure treated lumber
 3. All visible, exposed wood shall be white cedar, FSE certified
 4. shop drawings for design of wood fence for approval by architects
 5. structural engineering review of shop drawings required
 6. coordinate size of gate with dumpster and trash hauling requirements
 7. Finish to be stained Black

2 Dumpster Enclosure Gate
 SCALE: 3/4" = 1' - 0"



REGISTRATION



Project number 1653
 Date February 1, 2018
 Drawn by TN
 Checked by KP
 Scale

REVISIONS

No.	Description	Date
1	Site Plan Update and Unit Reduction	02/22/2018

LD2
 DETAILS

AREA STATS (RETAIL)		
Level	Name	Area
1 - First Floor	RETAIL	1954 SF
1 - First Floor	RETAIL	2674 SF
RETAIL: 2		4629 SF
		4629 SF

AREA STATS (DWELLING UNITS)	
Level	Area
1 - First Floor	5457 SF
2 - Second Floor	13725 SF
3 - Third Floor	13727 SF
4 - Fourth Floor	13705 SF
Grand total: 50	
46614 SF	

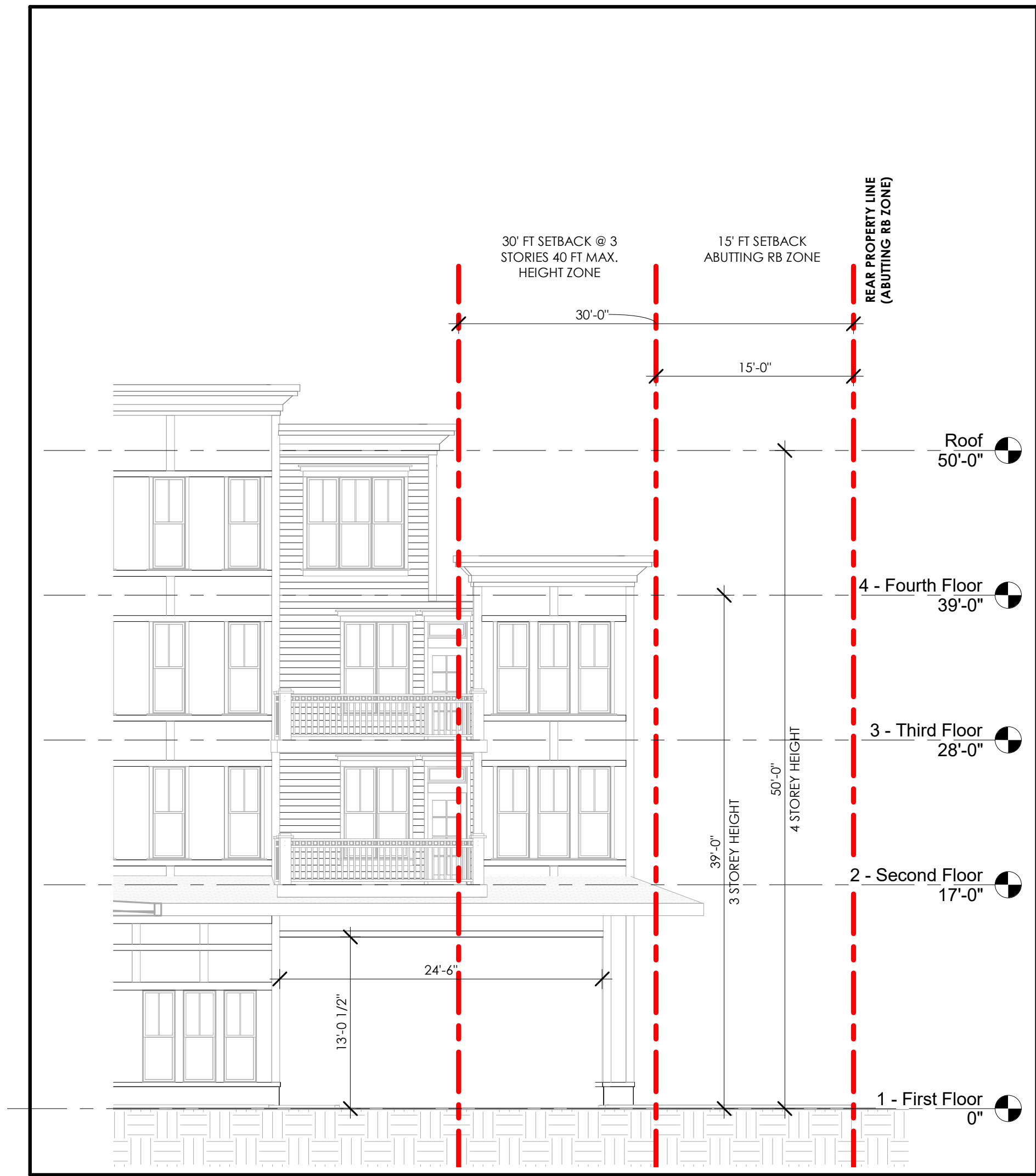
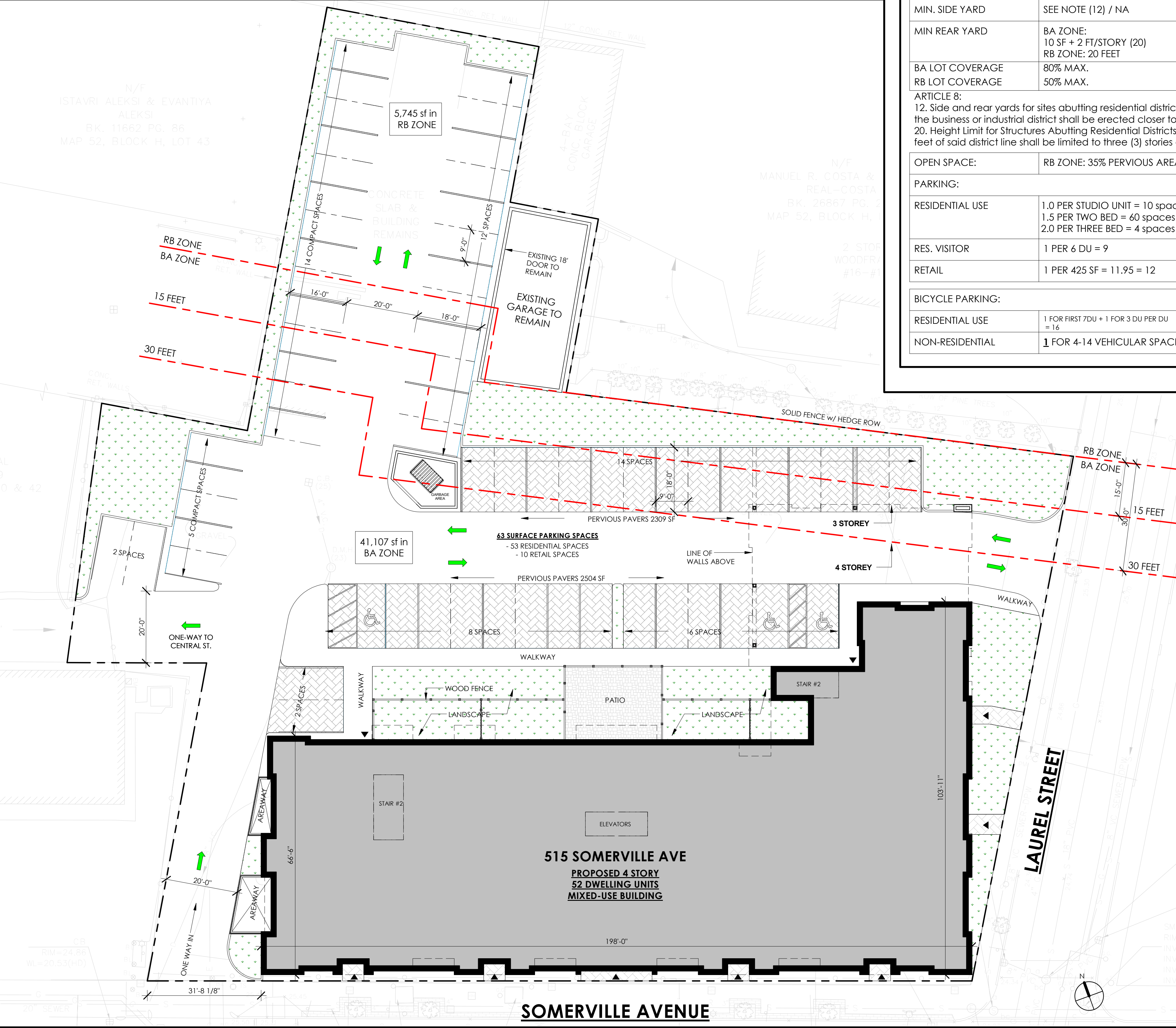
UNIT COUNT		
Level	Unit Type	Count
1 - First Floor	2 BED	2
1 - First Floor	STUDIO 1 BED	4
2 - Second Floor	1 BED	3
2 - Second Floor	1 BED+STUDY	1
2 - Second Floor	2 BED	12
3 - Third Floor	1 BED	3
3 - Third Floor	1 BED+STUDY	1
3 - Third Floor	2 BED	11
3 - Third Floor	3 BED	1
4 - Fourth Floor	1 BED+STUDY	1
4 - Fourth Floor	2 BED	12
4 - Fourth Floor	3 BED	1
52		52

AREA STATS (Gross Building)	
Level	Area
1 - First Floor	14099 SF
2 - Second Floor	16630 SF
3 - Third Floor	16630 SF
4 - Fourth Floor	15835 SF
63195 SF	

ZONING CHART				
ZONE : BA & RB	REQUIRED	EXISTING	PROPOSED	REMARKS
LOT AREA, MIN S.F./DU	LOT AREA = 46,852 SF MIN. BA = 1000 SF MIN. RB = 1500 SF	46,852 SF	52 UNITS SEE PLANS FOR DU AREAS	BA ZONE: SPECIAL PERMIT RB ZONE: N/A (ALL UNITS IN BA ZONE)
MIN. LOT WIDTH	-	-	-	PRE-EXISTING /NO INCREASE IN NON-CONFORMITY
MIN. LOT FRONTAGE	-	-	-	PRE-EXISTING /NO INCREASE IN NON-CONFORMITY
MAX. FAR	BA - 2.0 x 41,107 = 82,214 SF RB - 1.0 x 5,745 = 5,745 Total = 87,959 SF	N/A	1.38 (63,198 S.F.)	COMPLIES
MAX HEIGHT	BA = 50 FT, 4 STORIES RB = 40 FT, 3 STORIES	N/A	40 FT / 3 STORIES 50 FT / 4 STORIES	COMPLIES
LANDSCAPE AREA	BA - 10% x 41,107 SF = 4,110 SF RB - 25% x 5,745 SF = 1,436 SF Total = 5,546 SF	N/A	6873.97 SF	COMPLIES
MIN. FRONT YARD	N/A	N/A	1'-8" FT	COMPLIES
MIN. SIDE YARD	SEE NOTE (12) / NA	N/A	VARIES SEE PLAN	COMPLIES
MIN REAR YARD	BA ZONE: 10 SF + 2 FT/STORY (20) RB ZONE: 20 FEET	N/A	15 FT & 30 FT	COMPLIES
BA LOT COVERAGE	80% MAX.	N/A	40.48% (16,640.77 SF)	COMPLIES
RB LOT COVERAGE	50% MAX.	N/A	0%	COMPLIES

ARTICLE 8:
12. Side and rear yards for sites abutting residential districts: Where a lot in a business or industrial district abuts a lot or district line in a RA, RB, or RC district, no building in the business or industrial district shall be erected closer to the residential line than one-third (1/3) the height of the said building, but not less than fifteen (15) feet.
20. Height Limit for Structures Abutting Residential Districts: Where a lot abuts an RA, RB or RC zoning district line, any structure (or portion of a structure) within thirty (30) feet of said district line shall be limited to three (3) stories and forty (40) feet in height.

OPEN SPACE:	RB ZONE: 35% PERVIOUS AREA	N/A	39.4%	COMPLIES
PARKING:				
RESIDENTIAL USE	1.0 PER STUDIO UNIT = 10 spaces 1.5 PER TWO BED = 60 spaces 2.0 PER THREE BED = 4 spaces	N/A	1.0 PER DU = 52	SPECIAL PERMIT
RES. VISITOR	1 PER 6 DU = 9	N/A	0 SPACES	SPECIAL PERMIT
RETAIL	1 PER 425 SF = 11.95 = 12	N/A	11 SPACES	SPECIAL PERMIT
BICYCLE PARKING:				
RESIDENTIAL USE	1 FOR FIRST 7DU + 1 FOR 3 DU PER DU = 16	N/A	32 SPACES	COMPLIES
NON-RESIDENTIAL	1 FOR 4-14 VEHICULAR SPACES	N/A	1 SPACES	COMPLIES



PROJECT NAME
**MID-POINT
RESIDENCES @ 515
SOMERVILLE AVENUE**

PROJECT ADDRESS
515 Somerville Avenue,
Somerville, MA

CLIENT
D.E.V.B LLC

ARCHITECT
KHALSA DESIGN INC.

KHALSA

17IVALOO STREET SUITE 400
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CONSULTANTS:

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REGISTRATION		
Project number	16065	
Date	03/09/18	
Drawn by	AB	
Checked by	JSK	
Scale	As indicated	

REVISIONS		
No.	Description	Date
1	Site Plan Update & Unit Reduction	2/20/2017

ARCHITECTURAL
SITE PLAN

A-001

MID-POINT RESIDENCES @ 515
SOMERVILLE AVENUE

1 Site Plan
1/16" = 1'-0"

3 Zoning/Height Elevation
1/8" = 1'-0"

PROJECT NAME
**MID-POINT
 RESIDENCES @ 515
 SOMERVILLE AVENUE**

PROJECT ADDRESS
 515 Somerville Avenue,
 Somerville, MA

CLIENT
D.E.V.B LLC

ARCHITECT
KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
 SOMERVILLE, MA 02143
 TELEPHONE: 617-591-8682 FAX: 617-591-2086

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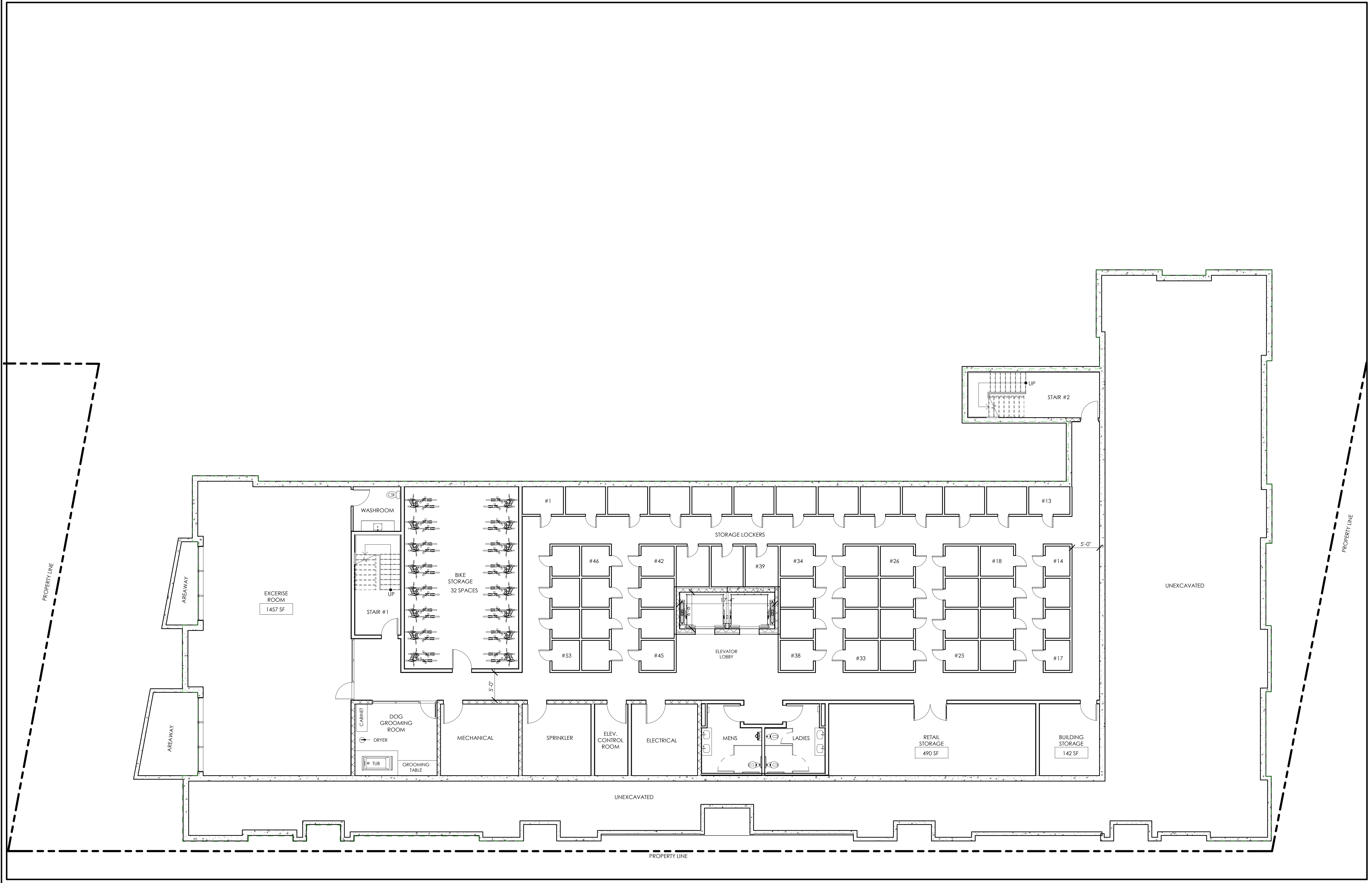
Project number	16065
Date	03/09/18
Drawn by	AB
Checked by	JSK
Scale	1/8" = 1'-0"

REVISIONS

No.	Description	Date
1	Site Plan Update & Unit Reduction	2/20/2017

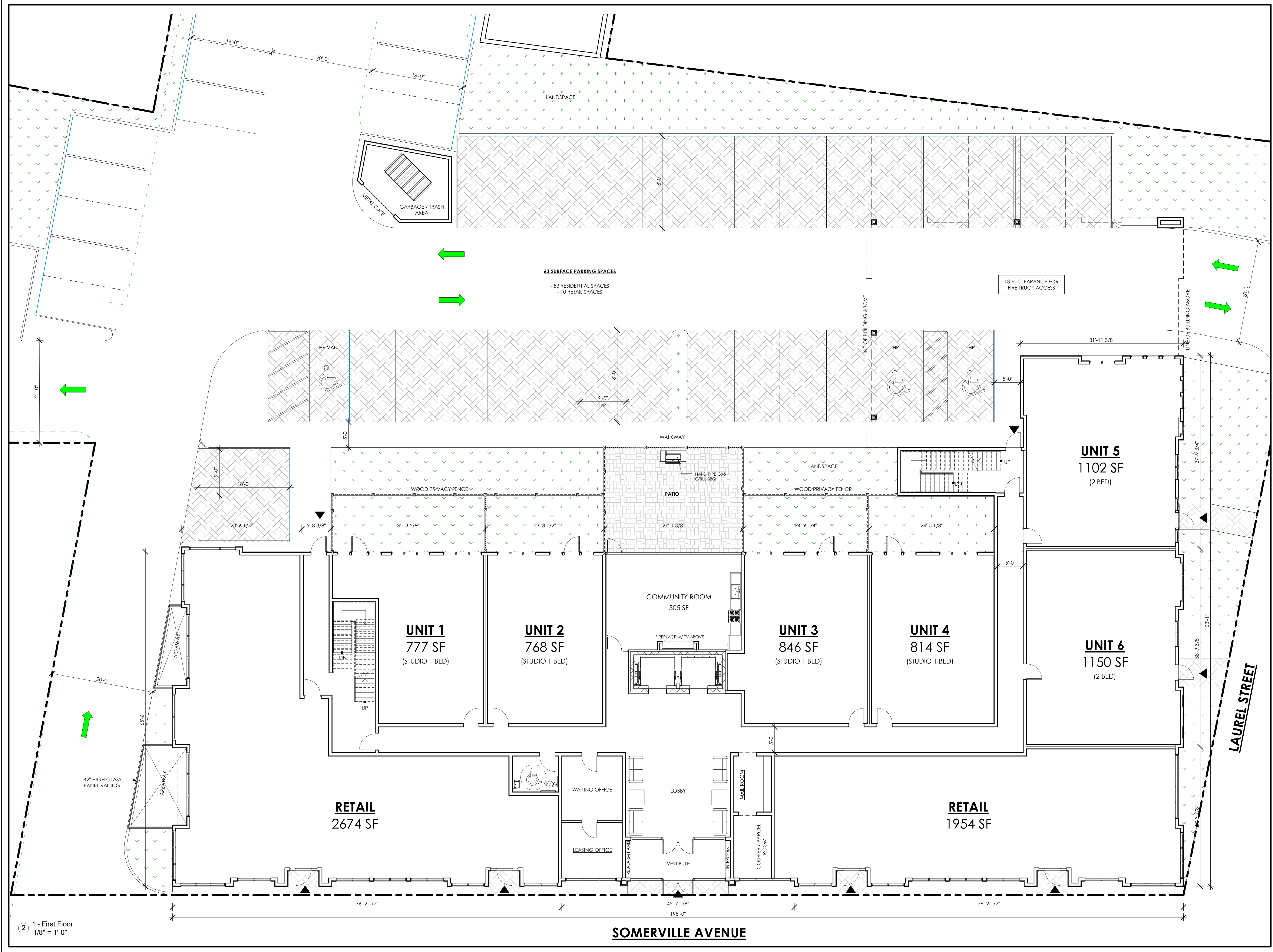
**BASEMENT
 FLOOR PLAN**

A-100
 MID-POINT RESIDENCES @ 515
 SOMERVILLE AVENUE



1 0 - Basement
 1/8" = 1'-0"

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PROJECT NAME
**MID-POINT
 RESIDENCES @ 515
 SOMERVILLE AVENUE**

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Date	03/09/18
Drawn by	AB
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Scale	1/8" = 1'-0"

REVISIONS

No.	Description	Date
1	Site Plan Update & Unit Reduction	2/20/2017

**FIRST FLOOR
 PLAN**

A-101
 MID-POINT RESIDENCES @ 515
 SOMERVILLE AVENUE

1 - First Floor
 1/8" = 1'-0"

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PROJECT NAME
MID-POINT
RESIDENCES @ 515
SOMERVILLE AVENUE

PROJECT ADDRESS
 515 Somerville Avenue,
 Somerville, MA

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Project number 16065
 Date 03/09/18
 Drawn by AB
 Checked by JSK
 Scale 1/8" = 1'-0"

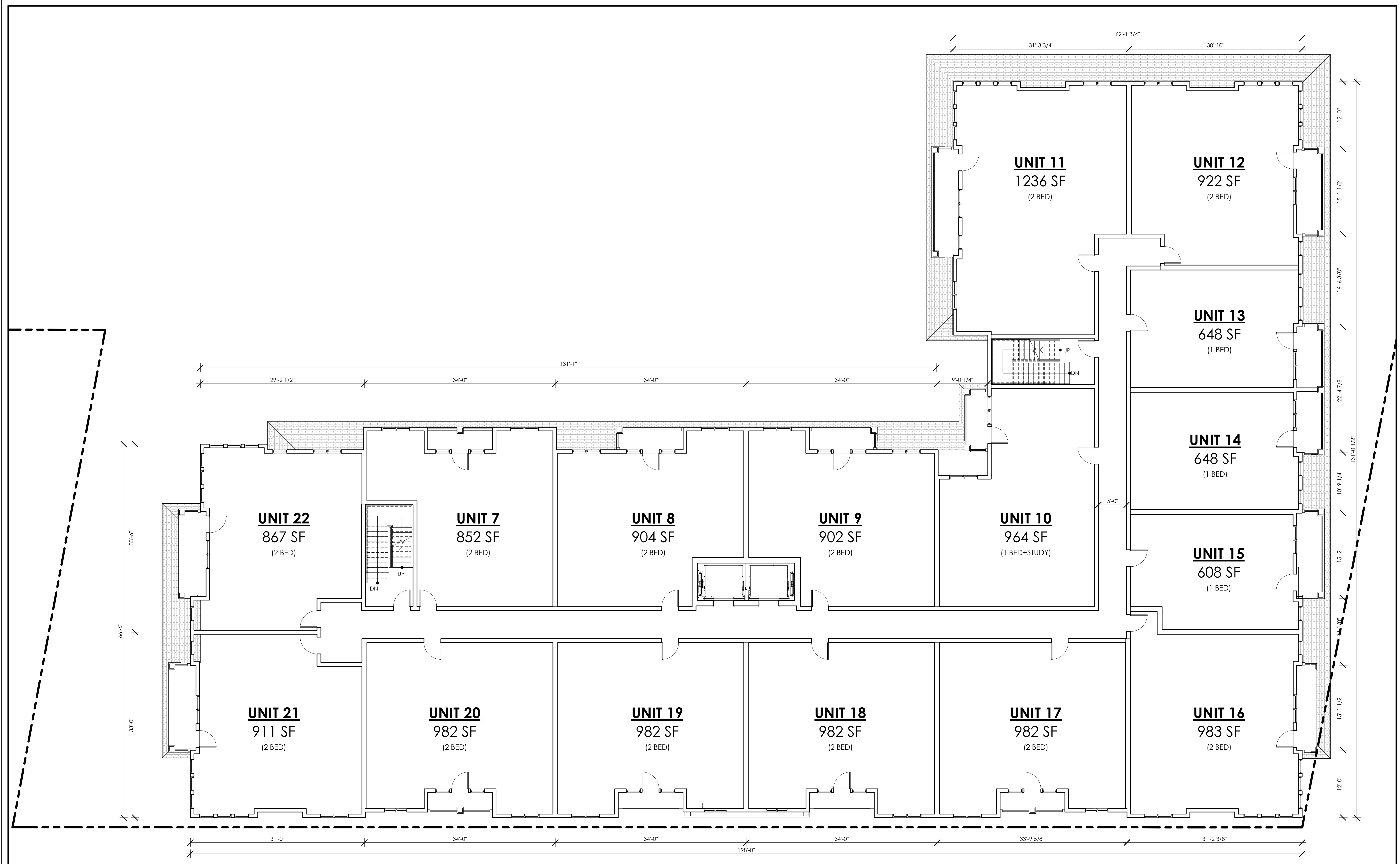
REVISIONS

No.	Description	Date
1	Site Plan Update & Unit Reduction	2/20/2017

SECOND FLOOR PLAN

A-102

MID-POINT RESIDENCES @ 515
 SOMERVILLE AVENUE



PROJECT NAME
**MID-POINT
 RESIDENCES @ 515
 SOMERVILLE AVENUE**

PROJECT ADDRESS
 515 Somerville Avenue,
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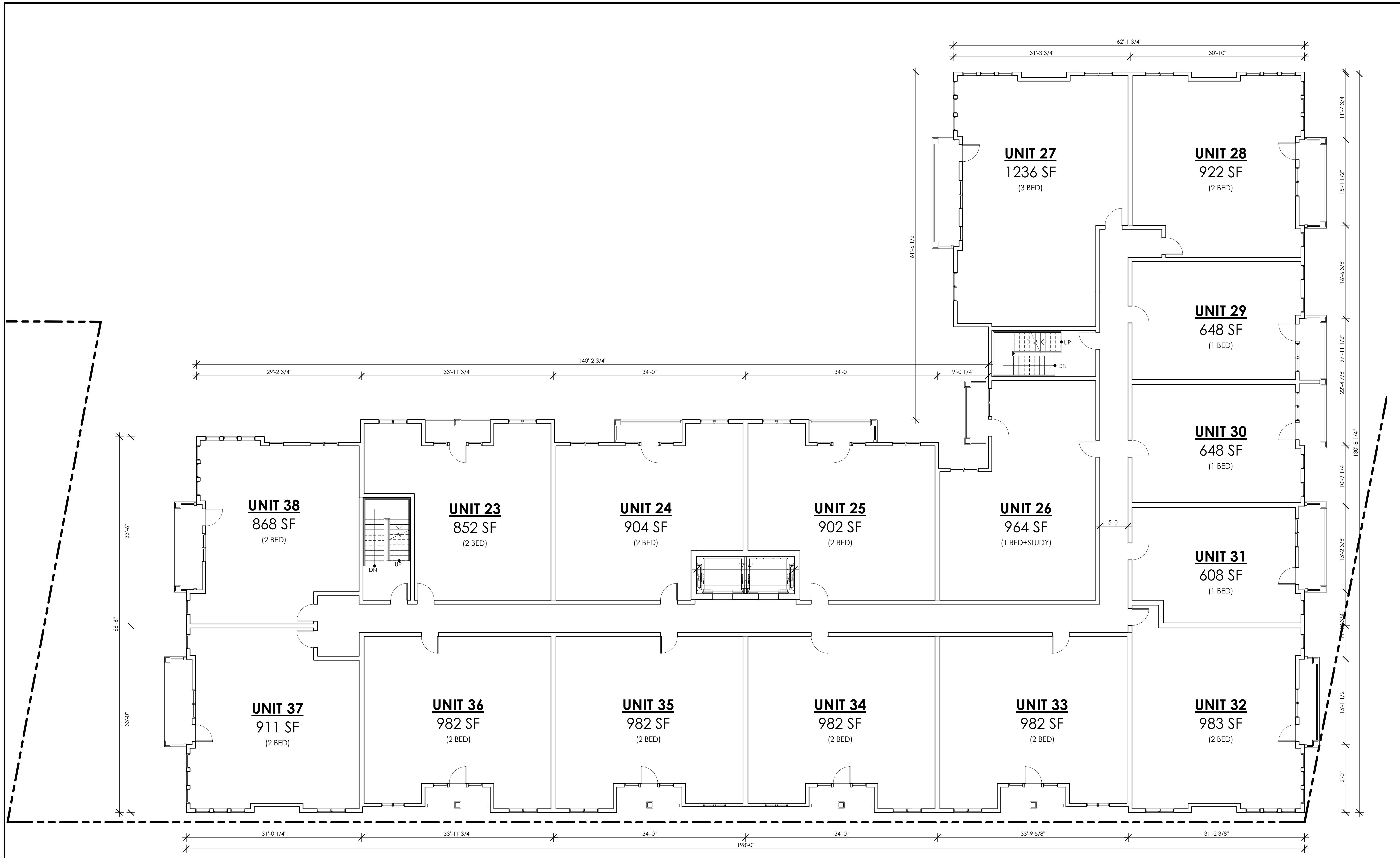
Project number	16065
Date	03/09/18
Drawn by	AB
Checked by	JSK
Scale	1/8" = 1'-0"

REVISIONS

No.	Description	Date
1	Site Plan Update & Unit Reduction	2/20/2017

**THIRD FLOOR
 PLAN**

A-103
 MID-POINT RESIDENCES @ 515
 SOMERVILLE AVENUE



3 - Third Floor
 1/8" = 1'-0"

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PROJECT NAME
**MID-POINT
 RESIDENCES @ 515
 SOMERVILLE AVENUE**

PROJECT ADDRESS
 515 Somerville Avenue,
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Scale	1/8" = 1'-0"

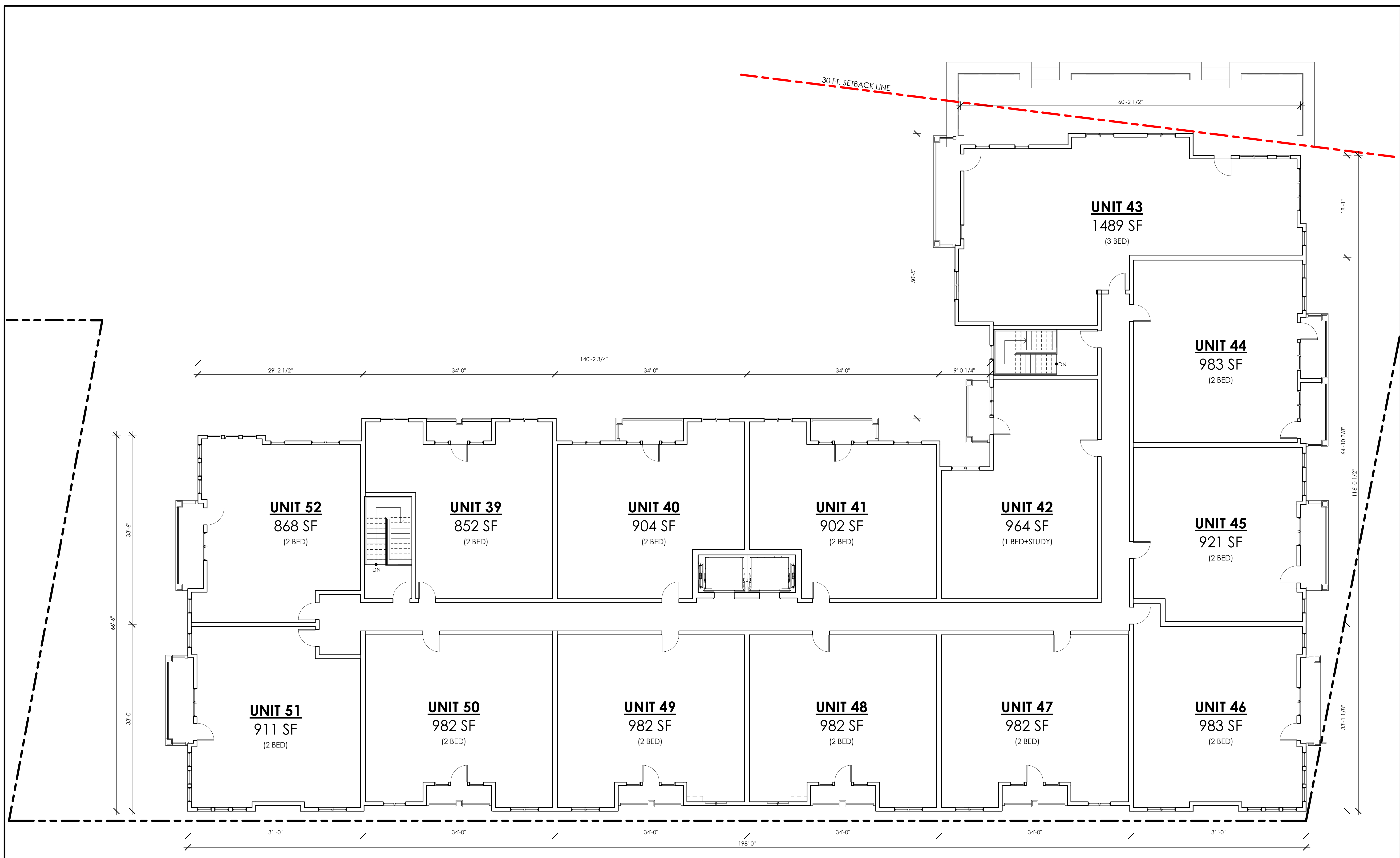
REVISIONS

No.	Description	Date
1	Site Plan Update & Unit Reduction	2/20/2017

**FOURTH FLOOR
 PLAN**

A-104

MID-POINT RESIDENCES @ 515
 SOMERVILLE AVENUE



NO.	MATERIAL	COLOR
1	THIN BRICK MANUFACTURER - GLEN GHERY	CRAFTON
2	CEMENTITIOUS PANEL MANUFACTURER - JAMES HARDIE	ARCTIC WHITE
3	CEMENTITIOUS LAP SIDING MANUFACTURER - JAMES HARDIE	NAVAJO BEIGE
4	PREFAB. METAL CORNICE MANUFACTURER - TBD	WHITE
5	PREFAB. METAL CORNICE MANUFACTURER - TBD	CHARCOAL
6	SINGLE HUNG WINDOWS MANUFACTURER - ANDERSON 200 SERIES	WHITE
7	ANODIZED ALUMINUM FRAME STOREFRONTS MANUFACTURER - KANWEER OR SIMILAR	SILVER
8	PRE-ENGINEERED ALUMIN. RAILINGS MANUFACTURER - TBD	WHITE
9	CEMENTITIOUS TRIM MANUFACTURER - JAMES HARDIE	WHITE
10	PRECAST STONE MANUFACTURER - TBD	TBD

PROJECT NAME
MID-POINT
RESIDENCES @ 515
SOMERVILLE AVENUE

PROJECT ADDRESS
 515 Somerville Avenue,
 Somerville, MA

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Date	03/09/18
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Scale	As indicated

REVISIONS

No.	Description	Date
1	Site Plan Update & Unit Reduction	2/20/2017

EXTERIOR ELEVATIONS

A-300
 MID-POINT RESIDENCES @ 515
 SOMERVILLE AVENUE



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NO.	MATERIAL	COLOR
1	THIN BRICK MANUFACTURER - GLEN GHERY	CRAFTON
2	CEMENTITIOUS PANEL MANUFACTURER - JAMES HARDIE	ARCTIC WHITE
3	CEMENTITIOUS LAP SIDING MANUFACTURER - JAMES HARDIE	NAVAJO BEIGE
4	PREFAB. METAL CORNICE MANUFACTURER - TBD	WHITE
5	PREFAB. METAL CORNICE MANUFACTURER - TBD	CHARCOAL
6	SINGLE HUNG WINDOWS MANUFACTURER - ANDERSON 200 SERIES	WHITE
7	ANODIZED ALUMINUM FRAME STOREFRONTS MANUFACTURER - KANWEER OR SIMILAR	SILVER
8	PRE-ENGINEERED ALUMIN. RAILINGS MANUFACTURER - TBD	WHITE
9	CEMENTITIOUS TRIM MANUFACTURER - JAMES HARDIE	WHITE
10	PRECAST STONE MANUFACTURER - TBD	TBD

PROJECT NAME
**MID-POINT
RESIDENCES @ 515
SOMERVILLE AVENUE**

PROJECT ADDRESS
515 Somerville Avenue,
Somerville, MA

CLIENT
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ARCHITECT
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② East
1/8" = 1'-0"



① West
1/8" = 1'-0"

REGISTRATION

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Date	03/09/18
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Checked by	JSK
Scale	As indicated

REVISIONS

No.	Description	Date
1	Site Plan Update & Unit Reduction	2/20/2017

**EXTERIOR
ELEVATIONS**

A-301

MID-POINT RESIDENCES @ 515
SOMERVILLE AVENUE



1 Somerville Ave Perspective



3 Rear Perspective



2 Laurel Street Perspective

PROJECT NAME
**MID-POINT
 RESIDENCES @ 515
 SOMERVILLE AVENUE**

PROJECT ADDRESS
 515 Somerville Avenue,
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 Date 03/09/18
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 Scale

REVISIONS

No.	Description	Date
1	Site Plan Update & Unit Reduction	2/20/2017

PERSPECTIVES

AV-1

MID-POINT RESIDENCES @ 515
 SOMERVILLE AVENUE



STREET PERSPECTIVE RENDERING LOOKING NORTH WEST ON SOMERVILLE AVE

PROJECT NAME
**MID-POINT
 RESIDENCES @ 515
 SOMERVILLE AVENUE**

PROJECT ADDRESS
 515 Somerville Avenue,
 Somerville, MA

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Checked by	Checker
Scale	

REVISIONS

No.	Description	Date

**PERSPECTIVE
 RENDERING**

AV-2
 MID-POINT RESIDENCES @ 515
 SOMERVILLE AVENUE



STREET PERSPECTIVE RENDERING LOOKING NORTH EAST ON SOMERVILLE AVE

PROJECT NAME
**MID-POINT
 RESIDENCES @ 515
 SOMERVILLE AVENUE**

PROJECT ADDRESS
 515 Somerville Avenue,
 Somerville, MA

CLIENT
D.E.V.B LLC

ARCHITECT
KHALSA DESIGN INC.



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 Scale

REVISIONS

No.	Description	Date

**PERSPECTIVE
 RENDERING**

AV-3

MID-POINT RESIDENCES @ 515
 SOMERVILLE AVENUE

MORNING (9-10 AM)

NOON (12 AM-1 PM)

AFTERNOON (3-4 PM)

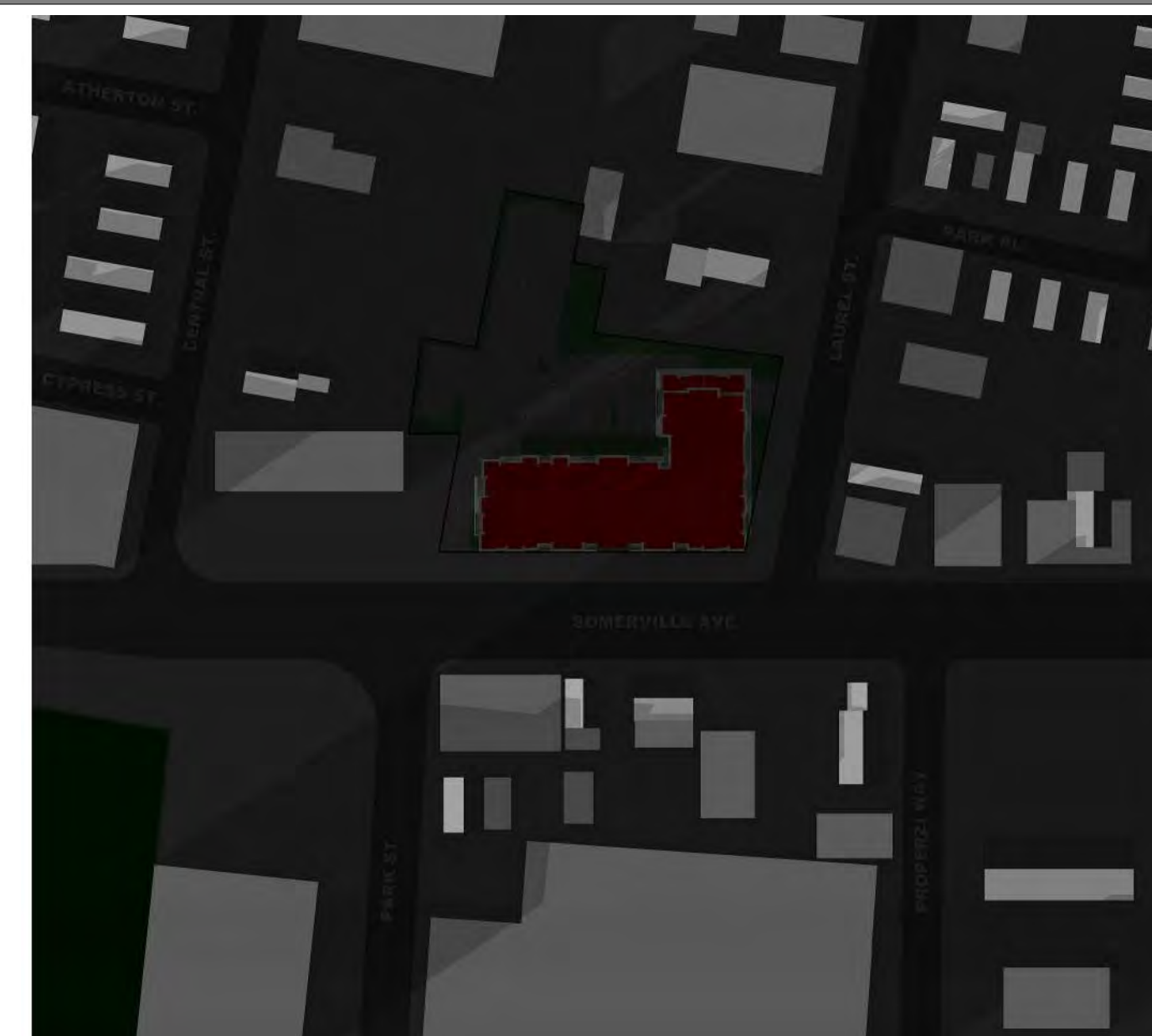
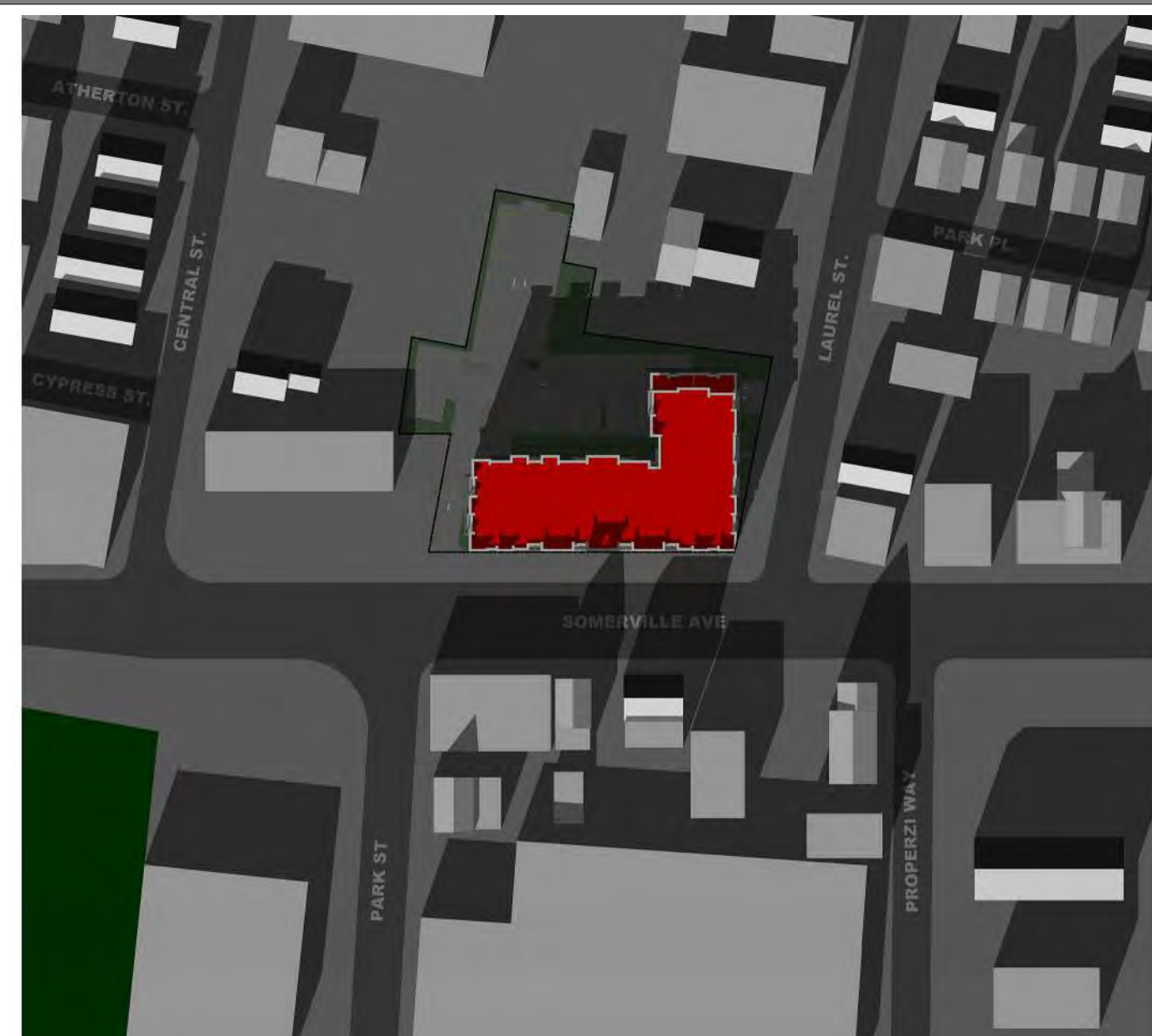
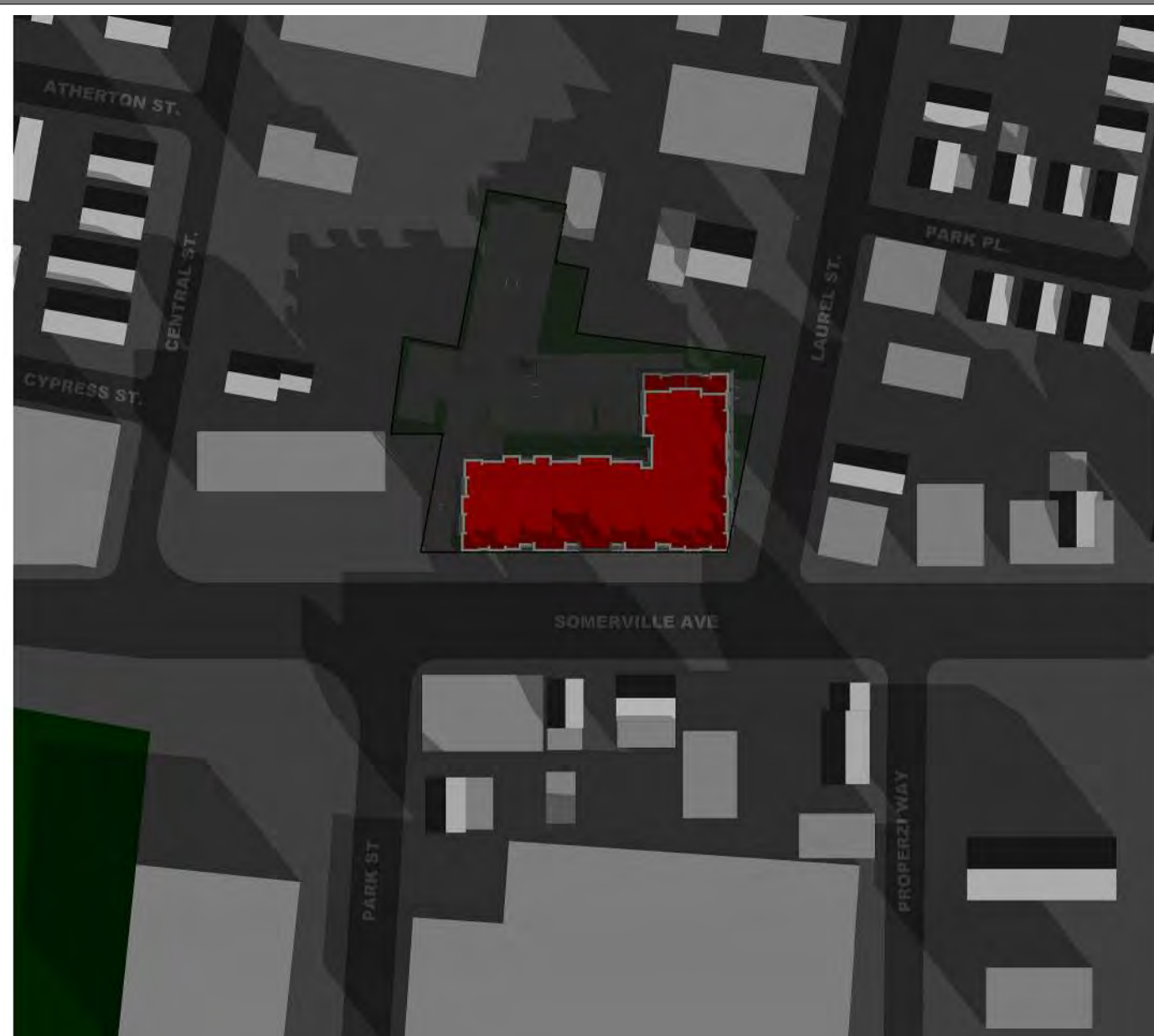
SUMMER SOLSTICE



FALL / SPRING EQUINOX



WINTER SOLSTICE



PROJECT NAME
MID-POINT
RESIDENCES @ 515
SOMERVILLE AVENUE

PROJECT ADDRESS
515 Somerville Avenue,
Somerville, MA

CLIENT

D.E.V.B LLC

ARCHITECT
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Date	03/09/18
Drawn by	AB
Checked by	JSK
Scale	12" = 1'-0"

REVISIONS

No.	Description	Date

SHADOW STUDY

SHD

MID-POINT RESIDENCES @ 515
SOMERVILLE AVENUE

Calculation Summary											
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description	PtSpcLr	PtSpcTb	Meter Type
CalcPts	Illuminance	Fc	1.81	5.8	0.2	9.05	29.00	Readings taken at 0' 0"	10	10	Horizontal
CalcPts - Extents	Illuminance	Fc	0.27	2.6	0.0	N.A.	N.A.	Readings taken at 0' 0"	10	10	Horizontal
Pavement (Stat Area)	Illuminance	Fc	2.03	5.8	0.7	2.90	8.29	Readings taken at 0' 0"			

Luminaire Schedule											
Symbol	Qty	Tag	Label	Description	Lum. Lumens	LLF	Lum. Watts	Total Watts	Filename	BUG Rating	
	1	A	ALED2T78 D10	Pole	9552	1.000	77.9	77.9	ALED2T78 - Cool - RAB02128MOD50.IES	B1-U0-G2	
	4	B	ALED3T78 D10	Pole	9263	1.000	76.8	307.2	ALED3T78 - Cool - RAB02147.IES	B1-U0-G2	
	2	C	ALED4T78 D10	Pole	10157	1.000	77.1	154.2	ALED4T78 - Cool - RAB02138MOD50.IES	B1-U0-G2	

Expanded Luminaire Location Summary						
LumNo	Tag	X	Y	MTG HT	Orient	Tilt
1	B	22.791	147.956	25	347.752	0
2	A	42.094	73.563	25	344.234	0
3	B	80.535	240.595	25	351.329	0
5	B	137.814	232.567	25	167.461	0
4	C	125.478	166.099	25	271.059	0
6	C	187.203	165.516	25	271.059	0
7	B	250.095	162.35	25	271.059	0
Total Quantity: 7						

NOTES:

* The light loss factor (LLF) is a product of many variables, only lamp lumen depreciation (LLD) has been applied to the calculated results unless otherwise noted. The LLD is the result (quotient) of mean lumens / initial lumens per lamp manufacturers' specifications.

* Illumination values shown (in footcandles) are the predicted results for planes of calculation either horizontal, vertical or inclined as designated in the calculation summary. Meter orientation is normal to the plane of calculation.

* The calculated results of this lighting simulation represent an anticipated prediction of system performance. Actual measured results may vary from the anticipated performance and are subject to means and methods which are beyond the control of RAB Lighting Inc.

* Mounting height determination is job site specific, our lighting simulations assume a mounting height (insertion point of the luminaire symbol) to be taken at the top of the symbol for ceiling mounted luminaires and at the bottom of the symbol for all other luminaire mounting configurations.

* It is the Owner's responsibility to confirm the suitability of the existing or proposed poles and bases to support the proposed fixtures, based on the weight and EPA of the proposed fixtures and the owner's site soil conditions and wind zone. It is recommended that a professional engineer licensed to practice in the state the site is located be engaged to assist in this determination.

* The landscape material shown hereon is conceptual, and is not intended to be an accurate representation of any particular plant, shrub, bush, or tree, as these materials are living objects, and subject to constant change. The conceptual objects shown are for illustrative purposes only. The actual illumination values measured in the field will vary.

* Photometric model elements such as buildings, rooms, plants, furnishings or any architectural details which impact the dispersion of light must be detailed by the customer documents for inclusion in the RAB lighting design model. RAB is not responsible for any inaccuracies caused by incomplete information on the part of the customer, and reserves the right to use best judgement when translating customer requests into photometric studies.

* RAB Lighting Inc. luminaire and product designs are protected under U.S. and International intellectual property laws. Patents issued or pending apply.

The Lighting Analysis, Layout, Energy Analysis and/or Visual Simulation ("Lighting Design") provided by RAB Lighting Inc. ("RAB") represents an anticipated prediction of system performance. Actual measured results may vary from the anticipated performance and are subject to means and methods which are beyond the control of RAB Lighting Inc. RAB recommends that design parameters and other information be field verified to reduce variation. RAB neither warrants, either implied or stated with regard to actual measured light levels or energy consumption levels as compared to those illustrated by the Lighting Design. RAB neither warrants, either implied or stated, nor represents the appropriateness, completeness or suitability of the Lighting Design as compliant with any applicable regulatory code requirements. The Lighting Design is issued in whole or in part, as addendum documents for informational purposes and is not intended for construction nor as being part of a project's construction documentation package.

Scale: as noted	PROJECT #
Date: 12/5/2017	CASE # 00142699A
Filename: 515 Somerville Ave layout 00142699A.AGI	
Drawn By: Patrick Carbone	

Job Name: 515 Somerville Ave	Lighting Layout Version A
---------------------------------	------------------------------

Prepared For:
Holbrook Associated
35 Reservoir Park Drive
Rockland, MA 02370
Tel: 888-839-1578



Filename: Z:\Job Files\ - Specification Projects\Holbrook - Associated\1010641515 Somerville Ave\Working Files\AGI\515 Somerville Ave layout 00142699A.AGI

ALED2T78/D10



Specification grade area lights available in IES Type II distributions. For use in parking lots, roadways, pathways and general area lighting. Patent pending thermal management system. 5 Year Warranty. Color: Bronze Weight: 32.0 lbs.

Project and Type information table with fields for Project, Type, Prepared By, and Date.

Driver Info and LED Info table with columns for Type, Constant Current, Watts, Color Temp, Color Accuracy, L70 lifespan, Luminaires, Input Watts, Efficiency, and Efficacy.

RAB LIGHTING

ALED2T78/D10

Technical Specifications (continued) including Electrical, Dimming Driver, Driver, Thermal Management, Surge Protection, and Surge Protector details.

UL Listing, IESNA LM-79 & IESNA LM-80 Testing, Dark Sky Approved, and Effective Projected Area information.

RAB LIGHTING

ALED2T78/D10

Technical Specifications (continued) including Construction, LED Characteristics, Color Uniformity, and BUG Rating.

Ordering Matrix table with columns for Family, Optics, Wattage, Mounting, Color Temp, Finish, Driver Options, and Photocell Options.

RAB LIGHTING

ALED3T78/D10



Specification grade area lights available in IES Type III distributions. For use for roadway, general parking and other area lighting applications where a larger pool of lighting is required. Patent pending thermal management system. 5 Year Warranty. Color: Bronze Weight: 32.0 lbs.

Project and Type information table with fields for Project, Type, Prepared By, and Date.

Driver Info and LED Info table with columns for Type, Constant Current, Watts, Color Temp, Color Accuracy, L70 lifespan, Luminaires, Input Watts, Efficiency, and Efficacy.

RAB LIGHTING

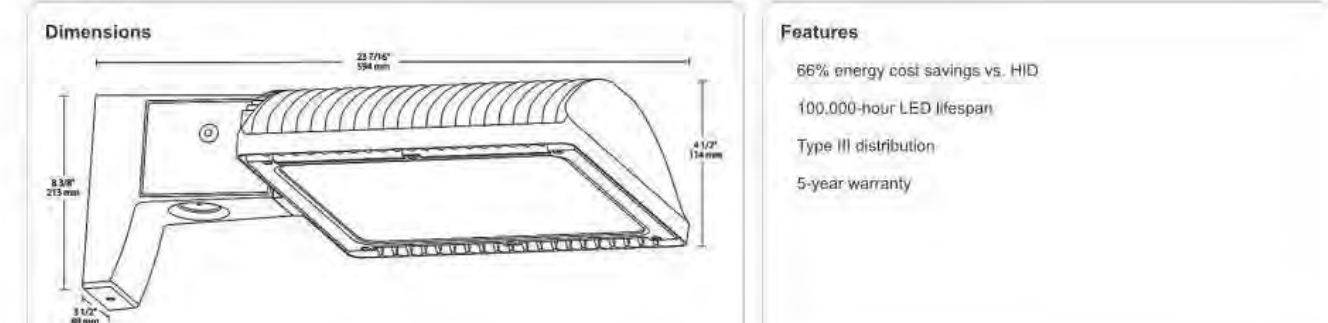
Technical Specifications including Electrical, Dimming Driver, Driver, Thermal Management, Surge Protection, and Surge Protector details.

UL Listing, IESNA LM-79 & IESNA LM-80 Testing, Dark Sky Approved, and Effective Projected Area information.

RAB LIGHTING

ALED3T78/D10

Technical Specifications (continued) including Construction, For use on LEED Buildings, Other, California Title 24, Compatibility, and Dimensions.



Ordering Matrix table with columns for Family, Optics, Wattage, Mounting, Color Temp, Finish, Driver Options, and Photocell Options.

RAB LIGHTING

ALED4T78/D10



Specification grade area lights available in IES Type IV distributions. Suited for mounting on the sides of buildings, and walls, and for illuminating the perimeter of parking areas at the pole site. Color: Bronze Weight: 32.0 lbs.

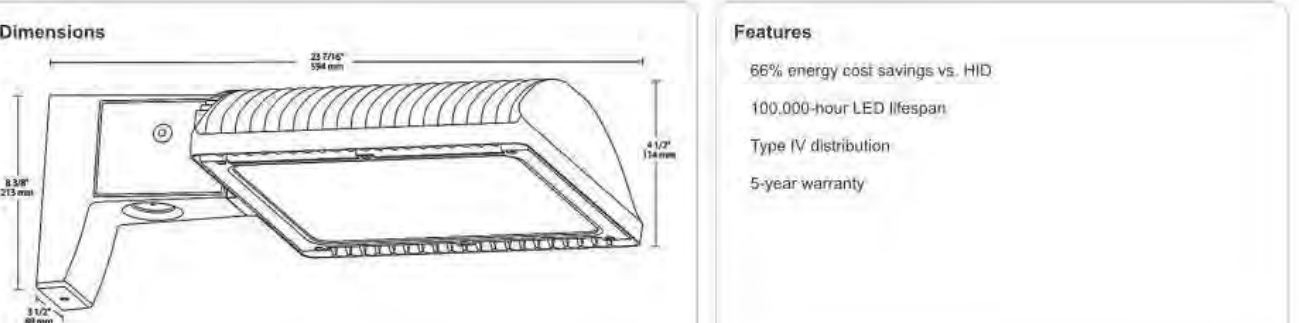
Technical Specifications including Electrical, Dimming Driver, Driver, Thermal Management, Surge Protection, and Surge Protector details.

UL Listing, IESNA LM-79 & IESNA LM-80 Testing, Dark Sky Approved, and Effective Projected Area information.

RAB LIGHTING

ALED4T78/D10

Technical Specifications (continued) including Construction, For use on LEED Buildings, Other, California Title 24, Compatibility, and Dimensions.



Ordering Matrix table with columns for Family, Optics, Wattage, Mounting, Color Temp, Finish, Driver Options, and Photocell Options.

RAB LIGHTING

PS5-07-25D2



Square steel poles drilled for 2 Arma Lights at 180°. Designed for ground mounting. Poles are stocked nationwide for quick shipment. Protective packaging ensures poles arrive at the job site good as new. Color: Bronze Weight: 318.0 lbs.

Technical Specifications including Listings, Gauge, Hand Holes, Shipping Protection, Color, Height, Features, and Anchor Bolt details.

RAB LIGHTING

PROJECT NAME MID-POINT RESIDENCES @ 515 SOMERVILLE AVENUE

PROJECT ADDRESS 515 Somerville Avenue, Somerville, MA

CLIENT D.E.V.B LLC

ARCHITECT KHALSA DESIGN INC.



17 VALOQ STREET SUITE 400 SOMERVILLE, MA 02143 TELEPHONE: 617-591-8682 FAX: 617-591-2086

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REGISTRATION

Table with columns for Project number, Date, Drawn by, Checked by, and Scale.

Table with columns for No., Description, and Date for REVISIONS.

Table with columns for No., Description, and Date for REVISIONS.

LIGHTING CUTSHEETS RAB-3 MID-POINT RESIDENCES @ 515 SOMERVILLE AVENUE

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